



**Beachwood Planning and Zoning Commission Meeting Agenda - Amended**  
**Thursday, May 30, 2024, 6:30 PM**  
**at Beachwood City Hall, Council Chambers,**  
**25325 Fairmount Boulevard, Beachwood, Ohio 44122**

Agenda Items

1. Roll Call
2. Approval of Minutes of the April 25, 2024, Planning and Zoning Commission Meeting
3. Council Report
4. Citizen's Remarks
5. Planning and Zoning Commission  
**2024-12** Debra S. Yasinow, on behalf of Jewish Federation of Cleveland, is requesting preliminary and final site plan approval for outdoor temporary signage located at 25701 Science Park Drive.
6. Planning and Zoning Commission  
**2024-2(A)** Ryan Schmit, ThenDesign Architecture, on behalf of Beachwood Board of Education, is requesting final site plan approval for a proposed new school to be located at 25501 Bryden Road, Bryden Elementary School.
7. Planning and Zoning Commission  
**2024-4(A)** Ryan Schmit, ThenDesign Architecture, on behalf of Beachwood Board of Education, is requesting final site plan approval for a proposed new school to be located at 24524 Hilltop Drive, Hilltop Elementary School.
8. Planning and Zoning Commission  
**2024-13** Matt Bedee, Middough, on behalf of BASF, is requesting preliminary site plan approval for a warehouse addition to be located at 23800 Mercantile Road.
9. Planning and Zoning Commission  
**2024-14** Melissa Reynolds, Rolan Brothers Fence Co., Inc., is requesting preliminary and final site plan approval for fence replacement along Cedar Road for property located at 24230 Community Drive.
10. Planning and Zoning Commission  
**2024-16** Marc Cohen, North Coast Architects, Inc., is requesting preliminary and final site plan approval for a one-story addition to the existing building at 24700 Highpoint Road, IHI IonBond, Inc.
11. Planning and Zoning Commission  
**2024-18** George Smerigan, City Planner, on behalf of Aleksandar and Mariya Geube, property owners, is requesting preliminary and final approval for the lot consolidation of PPN 741-34-010, 25771 Hurlingham Road, and PPN 741-34-011, City of Beachwood.

**\*\*\*PENDING\*\*\***

1. Planning and Zoning Commission  
**2024-9** James B. Heller, on behalf of Beachwood Office LLC, property owner, is requesting preliminary and final approval for variance to permit ADA compatible residential units on the first floor of the building located at 23250 Chagrin Blvd.

## PLANNING & ZONING APPLICATION

**Form must be completed or will not be processed**

APPLICATION DATE: \_\_\_\_\_

**OWNER OF BUILDING:** Jewish Federation of Cleveland PHONE: 216-593-2900

**STREET ADDRESS:** 25701 Science Park Drive

**CITY/STATE/ZIP:** Beachwood, OH 44122

**APPLICANT:** Debra S. Yasinow PHONE: 216-593-2890

**COMPANY OR FIRM:** Jewish Federation of Cleveland

**EMAIL:** dyasinow@jewishcleveland.org

**STREET ADDRESS:** 25701 Science Park Drive

**CITY/STATE/ZIP:** Beachwood, OH 44122

**PRESENTER(S) TO APPEAR AT THE P&Z MEETING (include name & email address):** TBD

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### DESCRIPTION OF THE PROPERTY:

**ADDRESS:** 25701 Science Park Drive, Beachwood, OH 44122

**TENANT NAME:** Jewish Federation of Cleveland

**PERMANENT PARCEL #** \_\_\_\_\_ - \_\_\_\_\_ - \_\_\_\_\_ **PRESENT USE:** \_\_\_\_\_ **PROPOSED USE:** \_\_\_\_\_

**PURPOSE OF APPLICATION:** Renewal of Permit issued on Dec. 8, 2023. Request for an additional 180 days.

**NATURE OF THE REQUEST (check as many as apply):**

- Preliminary site plan approval
- Final site plan approval
- Lot split
- Lot consolidation
- Conditional use permit
- Rezoning
- Zoning text amendment

**Other: Renewal of Permit issued on December 8, 2023. Request for an additional 180 days.**

Request for a variance.

Must provide a "Box Score" indicating permitted area, distance, etc. and requested area, distance, etc. with application.

Please explain reason for variance (must indicate a hardship):

**Tragically, 129 of the men, women, and children abducted by Hamas on October 7, 2023 are still being held hostage. We pledge to keep their memory alive until they are returned home to Israel.**

Are there any special issues regarding this application that should be brought to the attention of the Planning Commission and Staff? If so, please explain. \_\_\_\_\_

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### Planning & Zoning Submission Requirements:

- Attach site plan of the proposed development with details such as square footage, height, purpose.

\*\*\*\*\* (OVER) CONTINUED ON BACK\*\*\*\*\*

- Attach an aerial photo depicting the property and surrounding area (these are available online via County Auditor's GIS website or Google Earth).
- Attach copy of the Auditor's Report from the Cuyahoga County website indicating the real estate taxes for the property have been paid on a current basis.
- Any Planning & Zoning application which requires Council approval must have a representative attend the scheduled Council meeting.

**Planning & Zoning Submission Filing Fees & Deposits:**

A non-refundable filing fee in the amount of thirty-five dollars (\$35.00) shall be paid to the City for each application submitted to the Planning and Zoning Commission.

A cash fee in the amount set forth in the following schedule shall be submitted in addition to the filing fee listed in subsection (a) hereof, at the time of application to the Planning and Zoning Commission and/or Council:

	<u>Zoning District</u>	<u>Fee</u>
(1)	U-1, A-1 / U-1, A-2 / U-2 / U-2A / Variances Includes all applications to the Planning Commission and/or Council except applications for lot splits and/or consolidations plats, easement applications, and any application required to be recorded with the County Recorder's Office.	\$300.00
(2)	All other Zoning Districts for site development plan review (new building/addition)	\$5,000.00
(3)	All lot split and/or consolidation plats, easements, and any application required to be recorded with the County Recorder's Office	\$1,500.00
(4)	For all Zoning Districts, excepting U-1, A-1/U-1, A-2/U-2/ and U-2A, all other applications, including, but not limited to: special use permits, conditional use permits, variances, text amendments, or similar or harmonious use	\$750.00
(5)	Map Amendment	\$2,500.00

We, the building owner and/or applicant, with our signature below, hereby agree to follow specifically the plans submitted to and approved by the Planning and Zoning Commission and do agree to construct said building(s) as depicted on said approved plans.

  
SIGNATURE

Debra S. Yasinow  
PRINTED NAME

04.22.24  
DATE

\*\*\*\*\*OFFICE USE ONLY\*\*\*\*\*

PLANNING & ZONING COMMISSION - P&Z No. 2024-12 MEETING DATE: 5/30/24

FEE: RECEIPT # 2024-02873 AMOUNT \$ 785- DATE PAID 4/22/24

DEPOSIT: RECEIPT # \_\_\_\_\_ AMOUNT \$ \_\_\_\_\_ DATE PAID \_\_\_\_\_

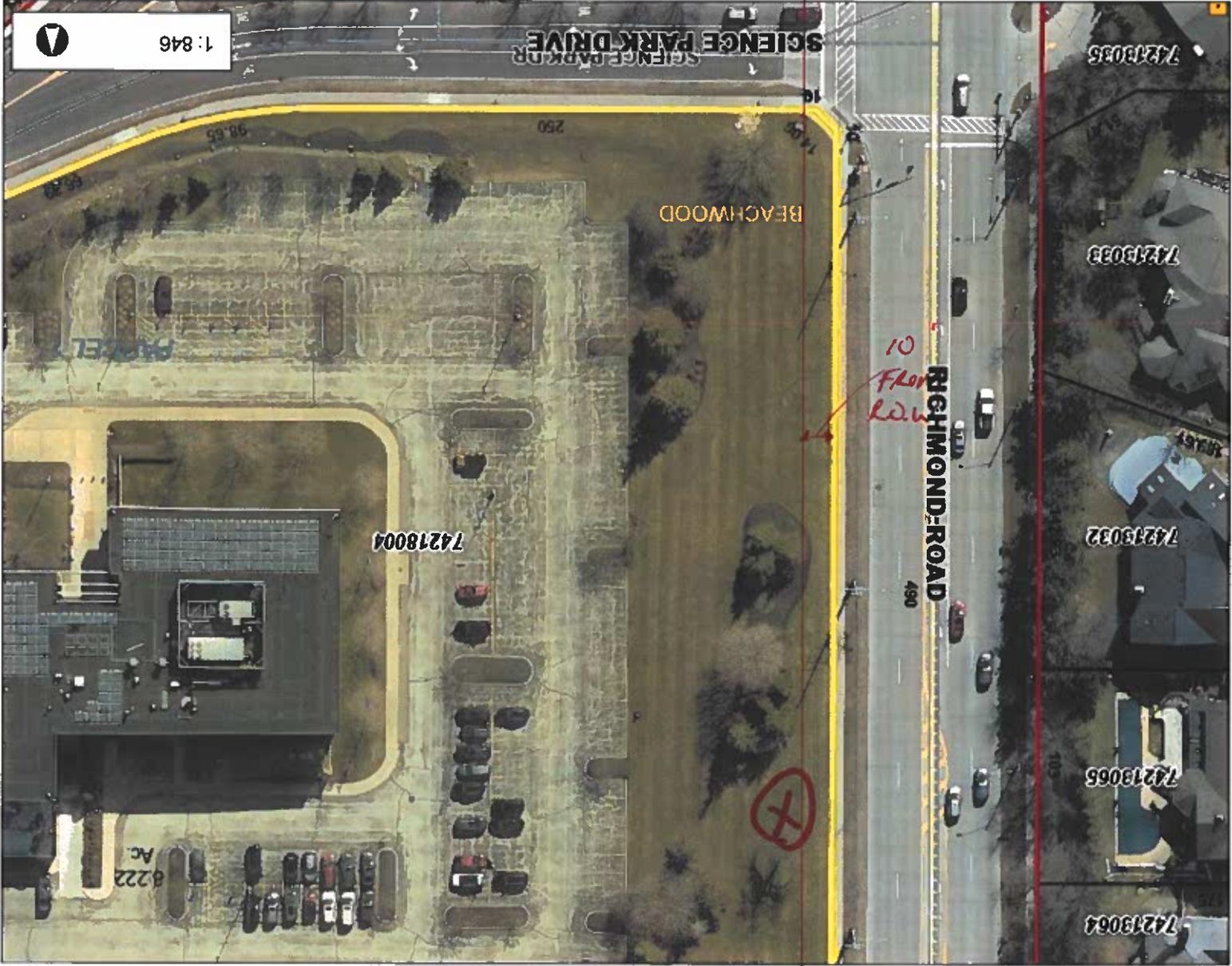
Preliminary Approval: \_\_\_\_\_  
Date

Final Approval: \_\_\_\_\_  
Date

Recommendation to Council:  YES  NO Meeting Date: \_\_\_\_\_



# Cuyahoga County GIS Viewer



Projection: WGS\_1984\_Web\_Mercator\_Auxiliary\_Sphere  
141 70 0 141 Feet  
This map is a user generated static output from an internet mapping site and is for reference only. Data layers that appear on this map may or may not be accurate, current, or otherwise reliable.  
THIS MAP IS NOT TO BE USED FOR NAVIGATION

Cuyahoga County  
**Enterprise GIS**  
PUTTING CUYAHOGA COUNTY ON THE MAP

- Date Created: 11/15/2023
- Legend**
- Municipalities
  - Right Of Way
  - Platted Centerline
  - Parcel



1: 846



VCI # 45255

PO # NA

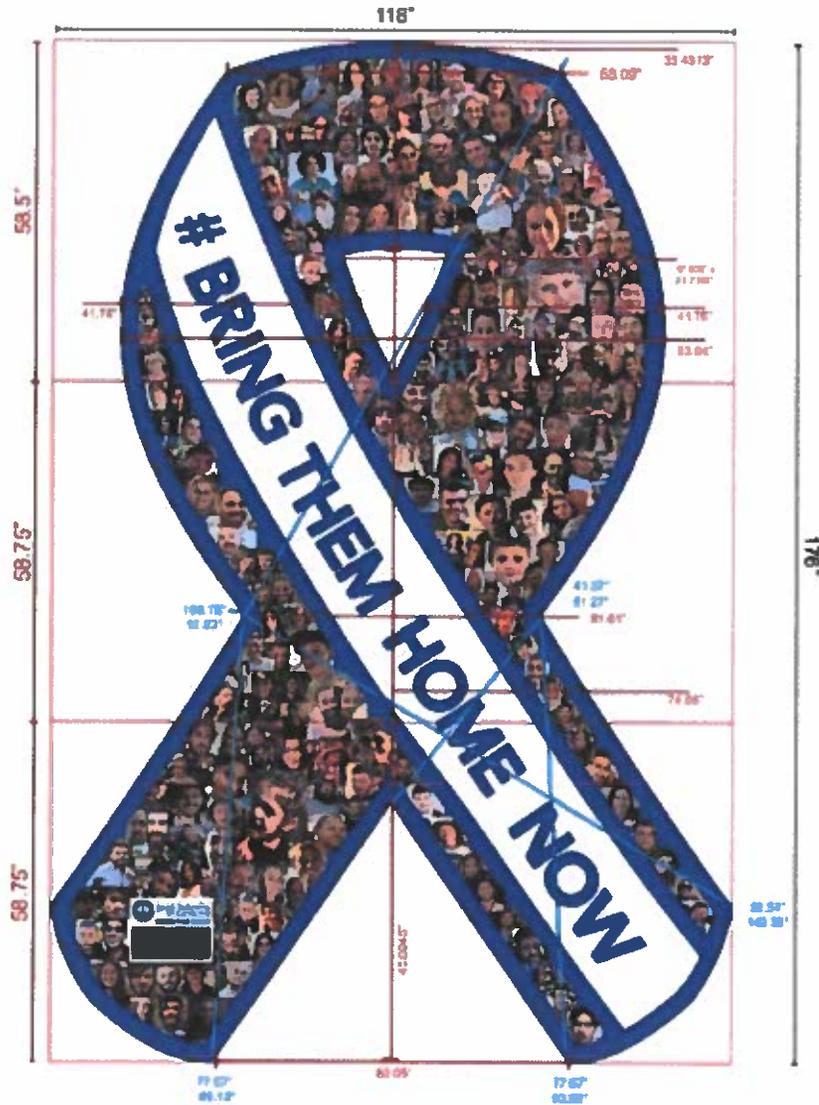
Code A

Ribbon Art

P1

P2

P3

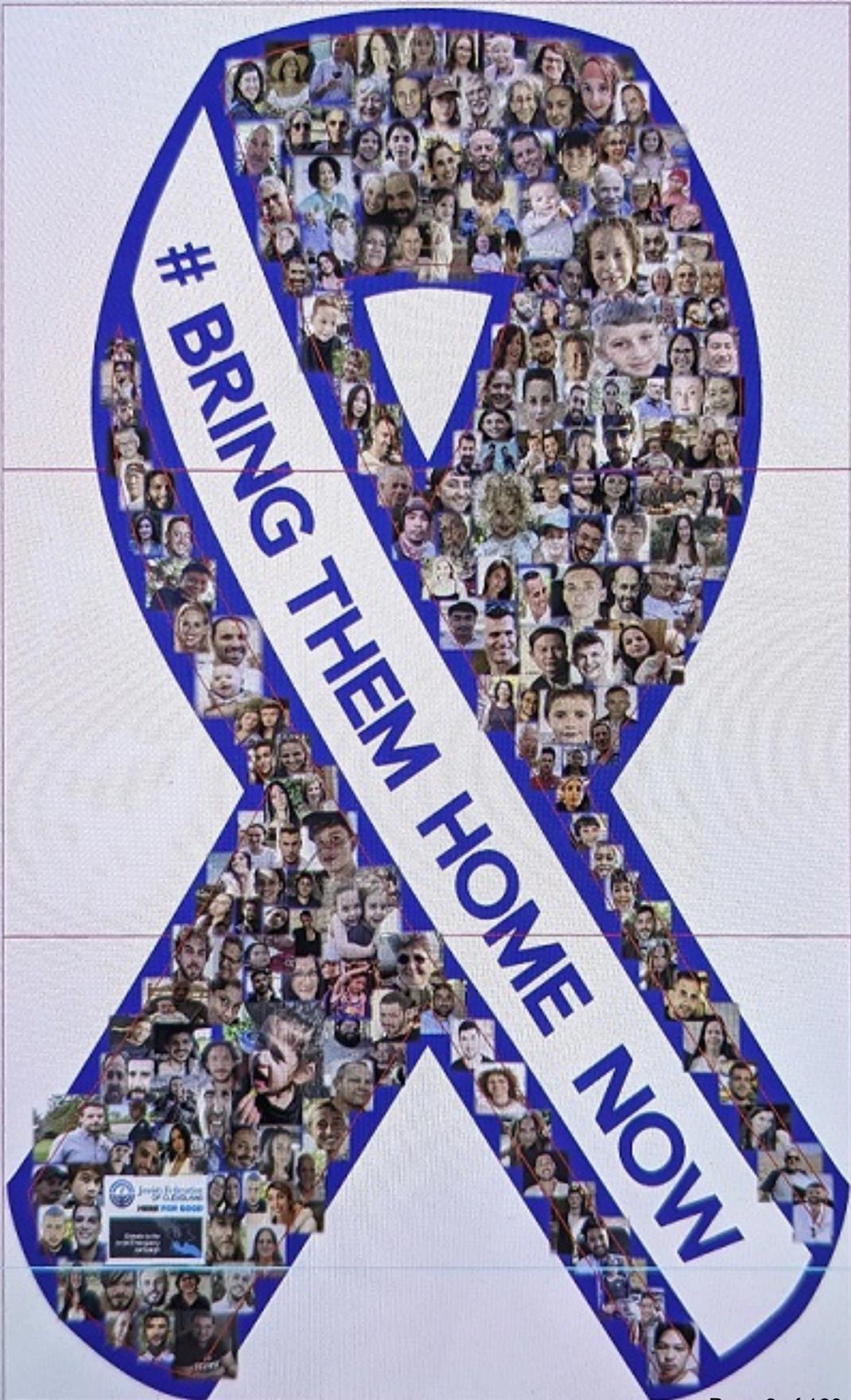


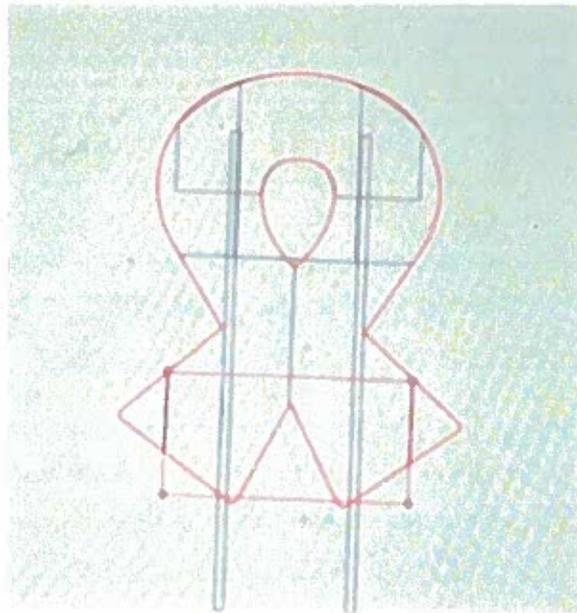
x2 each

ACM White 1/4"  
Color 93-84-0-0 Blue



<small>11/16/11 10:55 AM</small> <b>Archie Chased Fairmont Temple</b> <small>PROJECT DESCRIPTION</small>	
<b>Ribbon Art</b>	
<small>DATE</small> 11/16/11	<small>PERIOD</small> SN
<small>Vista Color Imaging - 4770 Van Dyke Rd          Brooklyn Heights, Ohio 44131          Phone (216) 651-2810</small>	



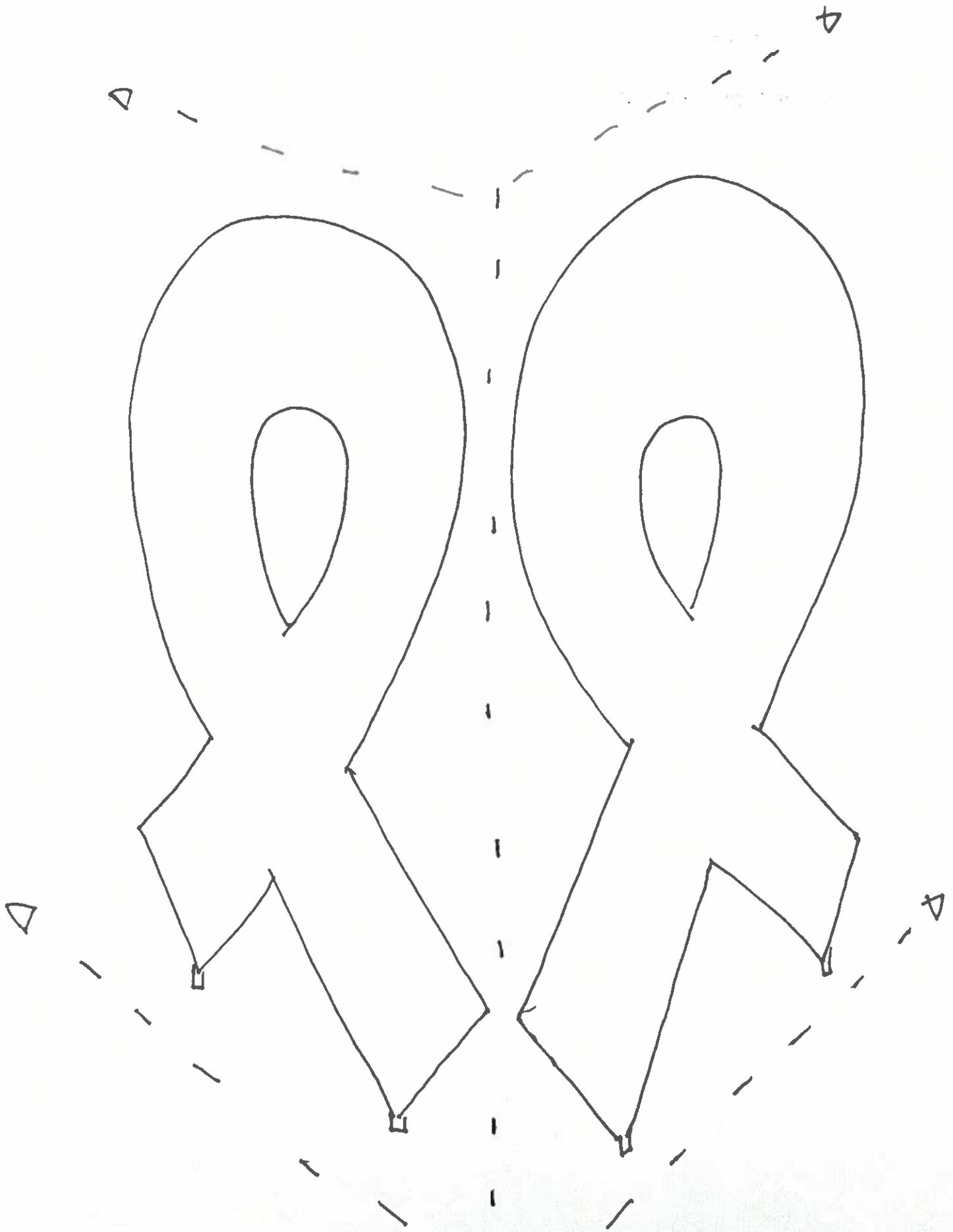


approx 15' high by 10' wide

off ground - 3-4'

Support - steel

ribbon - ASM composite (aluminum & vinyl)



P.O. Box 3163  
Cuyahoga Falls, Ohio 44223  
Ph: 440-725-1886  
geosmerigan@gmail.com

TO: Beachwood Planning Commission

FROM: George Smerigan, City Planner

DATE: May 8, 2024



RE: **P&Z 2024-12 Jewish Federation of Cleveland  
25701 Science Park Drive  
Temporary Sign Time Extension**

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This request is for a time extension of 180 days for the previously approved temporary sign. The existing sign was granted a variance by City Council with a stipulation that it be removed after a specified time period. The applicant is seeking to extend the time period for an additional 180 days. The subject site is in the U-8A Office Building and Research District. The time extension will require modification of the previously approved variance. Since the variance and time stipulation were approved by City Council, the Commission will need to act in the form of a recommendation to City Council to extend the previously approved temporary sign variance for an addition 180 days.



**GPD GROUP®**  
Glaus, Pyle, Schomer, Burns & DeHaven, Inc.

**Cleveland Office**

5595 Transportation Blvd  
Suite 100  
Cleveland, OH 44125

tel 216.518.5544  
fax 216.518.5545

[www.gpdgroup.com](http://www.gpdgroup.com)

**MEMORANDUM**

**CITY OF BEACHWOOD**

**PLANNING AND ZONING COMMISSION MEETING**

**Meeting Date: May 30, 2024**

**Report Date: May 21, 2024**

2022120.02

To: Mr. Brian Roenigk  
Building Commissioner

From: Joseph R. Ciuni, P.E. P.S.  
City Engineer

**AGENDA ITEM NO. 5**

**P & Z 2024-12 Debra S. Yasinow, on behalf of Jewish Federation of Cleveland, is requesting preliminary and final site plan approval for outdoor temporary signage located at 25701 Science Park Drive.**

There are no Engineering comments on this application.

Fire Prevention Bureau

## P&Z Report

To: Planning and Zoning Commission  
From: Matthew Domonkos, Assistant Chief  
Date: 05/20/2024  
Re: P&Z # 2024-12 Signage

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The Fire Prevention Bureau has reviewed the drawings/documents submitted for this item.

1. The Fire Department has not questions or comments at this time.

*Matthew Domonkos*

Matthew Domonkos  
Assistant Fire Chief

**PLANNING & ZONING APPLICATION**

**Form must be completed or will not be processed**

APPLICATION DATE: 04/26/24

OWNER OF BUILDING: Beachwood Board of Education PHONE: 216-464-2600

STREET ADDRESS: 24601 Fairmount Boulevard

CITY/STATE/ZIP: Beachwood, OH 44122

APPLICANT: Ryan Schmit PHONE: 216-269-2266

COMPANY OR FIRM: tda

EMAIL: rschmit@thendesign.com

STREET ADDRESS: 4230 River Street

CITY/STATE/ZIP: Willoughby, OH 44022

**PRESENTER(S) TO APPEAR AT THE P&Z MEETING (include name & email address):**

Ryan Schmit (rschmit@thendesign.com), Robert Hardis (rph@beachwoodschoo

Ken Veon (kev@beachwoodschoo

**DESCRIPTION OF THE PROPERTY:**

ADDRESS: 25501 BRYDEN RD, BEACHWOOD, OH, 44122 SUITE # \_\_\_\_\_

TENANT NAME: Bryden Elementary School

PERMANENT PARCEL # 742 - 13 - 039 PRESENT USE: school PROPOSED USE: school

PURPOSE OF APPLICATION: Final site plan approval.

**Zoning setback and wetland setback variances were previously approved.**

**NATURE OF THE REQUEST (check as many as apply):**

- Preliminary site plan approval
- Final site plan approval
- Lot split
- Lot consolidation
- Conditional use permit
- Rezoning
- Zoning text amendment
- Other \_\_\_\_\_
- Request for a variance.

Must provide a "Box Score" indicating permitted area, distance, etc. and requested area, distance, etc. with application. Please explain reason for variance (**must indicate a hardship**):

Are there any special issues regarding this application that should be brought to the attention of the Planning Commission and Staff? If so, please explain. \_\_\_\_\_

**Planning & Zoning Submission Requirements:**

- Attach site plan of the proposed development with details such as square footage, height, purpose.
- Attach an aerial photo depicting the property and surrounding area (these are available online via County Auditor’s GIS website or Google Earth).
- Attach copy of the Auditor’s Report from the Cuyahoga County website indicating the real estate taxes for the property have been paid on a current basis.
- Any Planning & Zoning application which requires Council approval must have a representative attend the scheduled Council meeting.

**Planning & Zoning Submission Filing Fees & Deposits:**

A non-refundable filing fee in the amount of thirty-five dollars (\$35.00) shall be paid to the City for each application submitted to the Planning and Zoning Commission; and...

A cash fee in the amount set forth in the following schedule shall be submitted in addition to the filing fee listed in subsection (a) hereof, at the time of application to the Planning and Zoning Commission and/or Council:

	<u>Zoning District</u>	<u>Fee</u>
(1)	U-1, A-1 / U-1, A-2 / U-2 / U-2A / Variances Includes all applications to the Planning Commission and/or Council except applications for lot splits and/or consolidations plats, easement applications, and any application required to be recorded with the County Recorder’s Office.	<b>\$300.00</b>
(2)	All other Zoning Districts for site development plan review (new building/addition)	<b>\$5,000.00</b>
(3)	All lot split and/or consolidation plats, easements, and any application required to be recorded with the County Recorder’s Office	<b>\$1,500.00</b>
(4)	For all Zoning Districts, excepting U-1, A-1/U-1, A-2/U-2/ and U-2A, all other applications, including, but not limited to: special use permits, conditional use permits, variances, text amendments, or similar or harmonious use	<b>\$750.00</b>
(5)	Map Amendment	<b>\$2,500.00</b>

We, the building owner and/or applicant, with our signature below, hereby agree to follow specifically the plans submitted to and approved by the Planning and Zoning Commission and do agree to construct said building(s) as depicted on said approved plans.

Digitally signed by Ryan P. Schmit  
DN: C=US, E=rschmit@thendesign.com,  
O=IDA, CN=Ryan P. Schmit  
Date: 2023.12.19.17:05:21-05'00'  
**Ryan P. Schmit**  
SIGNATURE

**Ryan P. Schmit**  
PRINTED NAME

**04/26/2024**  
DATE

\*\*\*\*\*OFFICE USE ONLY\*\*\*\*\*

PLANNING & ZONING COMMISSION - P&Z No. \_\_\_\_\_ MEETING DATE: \_\_\_\_\_

FEE: RECEIPT # \_\_\_\_\_ AMOUNT \$ \_\_\_\_\_ DATE PAID \_\_\_\_\_

Preliminary Approval: \_\_\_\_\_  
Date

Final Approval: \_\_\_\_\_  
Date

Recommendation to Council:  YES  NO Meeting Date: \_\_\_\_\_

**APPLICANT:** Bryden Elementary School

<b>P&amp;Z:</b>	<b>ZONING DATA</b>		<b>DATE: 12/21/23</b>
<b>ZONING STANDARDS</b>	<b>REQUIRED</b>	<b>PROPOSED</b>	<b>VARIANCE</b>
ZONING DISTRICT	U5	U5	
MINIMUM LOT AREA	18,000 sf	661,181 sf	
MINIMUM LOT FRONTAGE	100'	422'	
MINIMUM FRONT YARD BUILDING SETBACK	50'	499'	
MINIMUM SIDE YARD BUILDING SETBACK	20'	56'	
MINIMUM REAR YARD BUILDING SETBACK	40'	336'	
MAXIMUM BUILDING HEIGHT	40'	32'	
MINIMUM LANDSCAPED AREA	25% of total area = 165,295 sf		
MINIMUM PARKING SETBACKS	Front = 20' Side = 10' Rear = 20'	Front = 58' Side = 6' Rear = 611'	4' side
MINIMUM DRIVE AISLE	24'	24'	
MINIMUM PARKING STALL	9' x 20' = 180sf	9' x 20' 180sf	
MINIMUM OFF-STREET PARKING	32 classrooms x 2 = 64 2,250/200 = 12 76 total spaces	96 total spaces	
SITE DEVELOPMENT PLANS			

Bryden Elementary  
Existing Context Photos



Existing Perimeter - Southwest



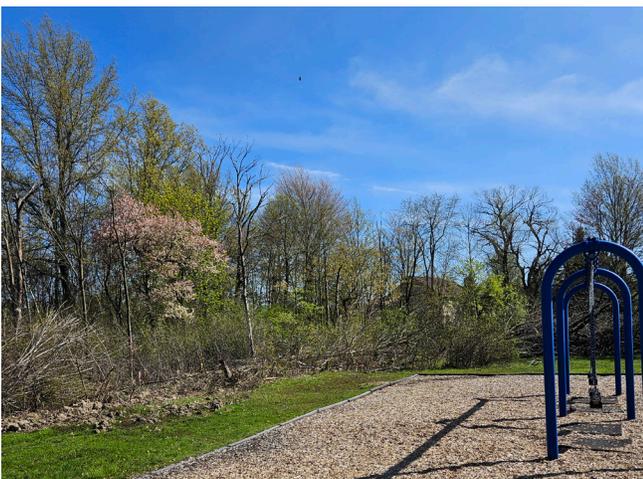
Existing Perimeter - Northwest



Existing Perimeter - North Drive



Existing Perimeter - North



Existing Perimeter - North



Existing Perimeter - Northeast

Bryden Elementary  
Existing Context Photos



Existing Perimeter - East



Existing Perimeter - East



Existing Perimeter - East



Existing Perimeter - East



Existing Perimeter - East



Existing Perimeter - East

Bryden Elementary  
Existing Context Photos



Existing Perimeter - East



Existing Perimeter - East



Existing Perimeter - Southeast



Existing Perimeter - South



Existing Perimeter - Southwest



April 26, 2024

Mr. Brian Roenigk  
City of Beachwood Building Commissioner  
25325 Fairmount Blvd #1  
Beachwood, OH 44122

Re: Bryden Elementary School

Beachwood, OH

Dear Mr. Roenigk:

This letter is in response to the Engineering Report dated January 9, 2024 discussed at the January 18<sup>th</sup>, 2024 Planning and Zoning Commission Meeting regarding Preliminary Plan review of the new Bryden Elementary School project.

- The 12" drainage pipe discussed at the meeting has been re-aligned, so that it no longer impacts the jurisdictional wetland.

If you have any further questions, please contact me.

Sincerely,

Thorson · Baker + Associates, Inc.

David L. Myers, P.E. & P.S.  
Department Manager – Civil Engineering Department



April 26, 2024

Mr. Brian Roenigk  
City of Beachwood Building Commissioner  
25325 Fairmount Blvd  
Beachwood, OH 44122

Re: Bryden Elementary School

Beachwood, OH

Dear Mr. Roenigk:

This letter is in response to the Fire Prevention Bureau Report dated January 9<sup>th</sup>, 2024 discussed at the January 18<sup>th</sup>, 2024 Planning and Zoning Commission Meeting regarding Preliminary Plan review of the new Bryden Elementary School project.

1. Fire lanes have been provided around the building as discussed at the P & Z meeting on January 18<sup>th</sup>, 2024. In addition, there was a second meeting held at the Beachwood School Board Offices on April, 16<sup>th</sup> where fire lanes were discussed with fire department officials and approved.
2. A new FDC connection is indicated at the location of the new water service vault near Letchworth Road as discussed at the April 16<sup>th</sup>, 2024 meeting at the Beachwood School Board Offices.
3. Fire hydrants are located around the perimeter of the new building. The location of the fire hydrants were reviewed and approved by fire department officials at the April 16<sup>th</sup>, 2024 meeting at Beachwood School Board Offices.
4. No response required.

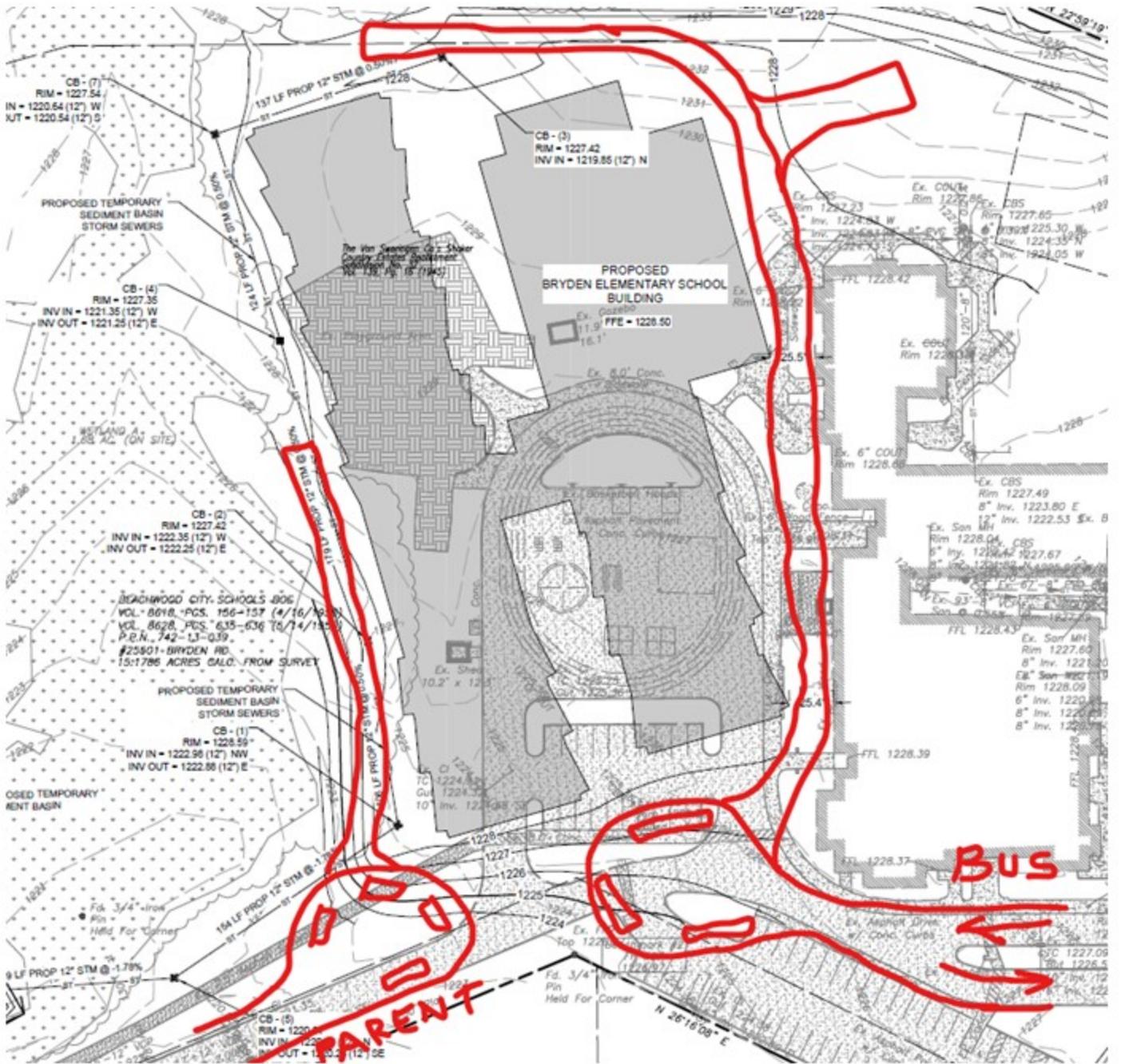
If you have any further questions, please contact me.

Sincerely,

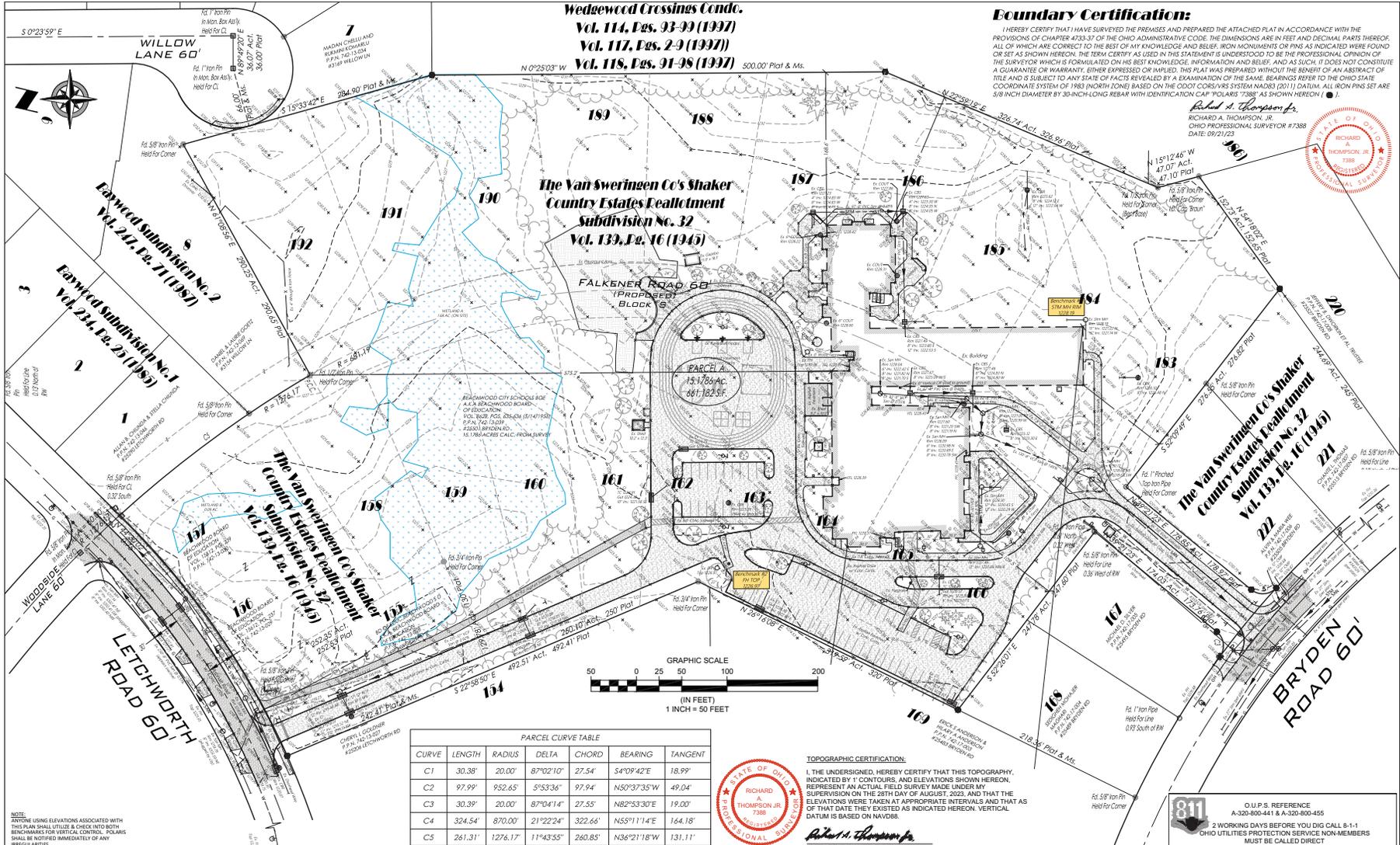
Thorson • Baker + Associates, Inc.

David L. Myers, P.E. & P.S.  
Department Manager – Civil Engineering Department

**Bryden:**







**Boundary Certification:**

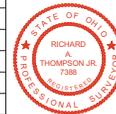
I HEREBY CERTIFY THAT I HAVE SURVEYED THE PREMISES AND PREPARED THE ATTACHED PLAT IN ACCORDANCE WITH THE PROVISIONS OF CHAPTER 4753.93 OF THE OHIO ADMINISTRATIVE CODE. THE DIMENSIONS ARE IN FEET AND DECIMAL PARTS THEREOF. ALL OF WHICH ARE CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF. IRON MONUMENTS OR PINS AS INDICATED WERE FOUND OR SET AS SHOWN HEREON. THE TERM CERTIFY AS USED IN THIS STATEMENT IS UNDERSTOOD TO BE THE PROFESSIONAL OPINION OF THE SURVEYOR WHICH IS FORMULATED ON HIS BEST KNOWLEDGE, INFORMATION AND BELIEF. AND AS SUCH, IT DOES NOT CONSTITUTE A GUARANTEE OR WARRANTY, EITHER EXPRESSED OR IMPLIED. THIS PLAT WAS PREPARED WITHOUT THE BENEFIT OF AN ABSTRACT OF TITLE AND IS SUBJECT TO ANY STATE OF FACTS REVEALED BY A EXAMINATION OF THE SAME. BEARINGS REFER TO THE OHIO STATE COORDINATE SYSTEM OF 1983 (NORTH ZONE) BASED ON THE GOOBY CONSERV SYSTEM NAD83 (2011) DATUM. ALL IRON PINS SET ARE 5/8 INCH DIAMETER BY 30-INCH-LONG REBAR WITH IDENTIFICATION CAP "POLARIS 7388" AS SHOWN HEREON. ( )

Richard A. Thompson, Jr.  
 RICHARD A. THOMPSON, JR.  
 CHIC PROFESSIONAL SURVEYOR #7388  
 DATE: 09/21/23



**TOPOGRAPHIC CERTIFICATION:**

I, THE UNDERSIGNED, HEREBY CERTIFY THAT THIS TOPOGRAPHY, INDICATED BY "1" CONTOURS, AND ELEVATIONS SHOWN HEREON, REPRESENT AN ACTUAL FIELD SURVEY MADE UNDER MY SUPERVISION ON THE 28TH DAY OF AUGUST, 2023, AND THAT THE ELEVATIONS WERE TAKEN AT APPROPRIATE INTERVALS AND THAT AS OF THAT DATE THEY EXISTED AS INDICATED HEREON. VERTICAL DATUM IS BASED ON NAVD83.



Richard A. Thompson, Jr.  
 RICHARD A. THOMPSON, JR., P.S. #7388

REV. NO.	DATE	BY

DATE: 2/19/24 DRAWN: SRB  
 SCALE: HOR 1"=50' VERT. N/A  
 FOLDER: DWG/Proj\_Surveying  
 FILENAME: 23143\_Survey\_Base  
 TAB: 01-Existing Conditions  
 BNDY\_CHK: XXX-xxx/20xx  
 BASE\_CHK: XXX-xxx/20xx

SYMBOL	LEGEND
⊙	Ex. Clean Out
⊙	Ex. Catch Basin
⊙	Prop. Catch Basin
⊙	Ex. Yard Drain
⊙	Ex. Manhole
⊙	Ex. Storm Manhole
⊙	Prop. Storm Manhole
⊙	Ex. Sanitary Manhole
⊙	Prop. Sanitary Manhole
⊙	Prop. Curb Inlet
⊙	Ex. Curb Inlet
⊙	Prop. Hydrant
⊙	Prop. Prop. Hydrant
⊙	Ex. Gas Meter
⊙	Ex. Gas Meter
⊙	Ex. Gas Meter
⊙	Ex. Gas Valve
⊙	Ex. Water Valve
⊙	Ex. Water Meter
⊙	Ex. Fire Hydrant
⊙	Prop. WL Valve
⊙	Well
⊙	Test Bore
⊙	Ex. Electrical Box
⊙	Ex. Guy Wire
⊙	Ex. Power Pole
⊙	Ex. Light Power Pole
⊙	Ex. Light Pole
⊙	Prop. Light Pole
⊙	Ex. Tree
⊙	Ex. Pole Tree
⊙	Ex. Mailbox
⊙	Ex. Sign
⊙	Ex. Telephone Box
⊙	Guard Post
⊙	Ex. Monument Box
⊙	Cable TV Box
⊙	Irrigation Valve
⊙	Sprinkler Control Box
⊙	Sprinkler Head
⊙	Traffic Signal Pole
⊙	Traffic Signal Box

**811** O.U.P.S. REFERENCE  
 A-320-800-441 & A-320-800-455  
 2 WORKING DAYS BEFORE YOU DIG CALL 8-1-1  
 OHIO UTILITIES PROTECTION SERVICE NON-MEMBERS  
 MUST BE CALLED DIRECT

**EXISTING UNDERGROUND UTILITIES NOTE:**  
 THE SIZE AND LOCATION, BOTH HORIZONTAL AND VERTICAL OF THE UNDERGROUND UTILITIES SHOWN HEREON, HAVE BEEN OBTAINED BY A SEARCH OF AVAILABLE RECORDS. THE EXACT LOCATION OF UNDERGROUND FEATURES CANNOT BE ACCURATELY, COMPLETELY, AND RELIABLY DEPICTED HEREON. VERIFICATION BY FIELD OBSERVATION HAS BEEN CONDUCTED, WHERE PRACTICAL. HOWEVER, POLARIS ENGINEERING & SURVEYING, INC. DOES NOT GUARANTEE THE COMPLETENESS NOR ACCURACY THEREOF.

NOTE: THIS SURVEY SUBJECT TO CHANGE UPON RECEIPT OF ANY ADDITIONAL AVAILABLE UNDERGROUND UTILITY INFORMATION.

**25501 BRYDEN ROAD**  
 CITY OF BEACHWOOD - CUYAHOGA COUNTY - OHIO

POLARIS ENGINEERING & SURVEYING, INC.  
 3460 CHARDON ROAD - SUITE 100  
 WILLOUGHBY HILLS, OHIO 44094  
 CONTACT: KEN YEON  
 www.polaris-es.com

**EXISTING CONDITIONS**

PREPARED FOR:  
 BEACHWOOD CITY SCHOOLS  
 2481 FAIRMOUNT RD.  
 BEACHWOOD, OHIO  
 PHONE: (440) 412-1748  
 CONTACT: KEN YEON

CONTRACT NO.  
**23143**

SHEET	OF
01	01







NO	DATE	DESCRIPTION	BY	CHK
1	04/12/24	ISSUE FOR PERMIT	TBA	TBA
2	04/12/24	ISSUE FOR CONSTRUCTION	TBA	TBA

NO	DATE	DESCRIPTION	BY	CHK
1	04/12/24	ISSUE FOR PERMIT	TBA	TBA
2	04/12/24	ISSUE FOR CONSTRUCTION	TBA	TBA

PROJECT NO: 20004

DATE: 04/12/24

SCALE: 1"=32'

PROJECT NAME: BRYDEN ES BEACHWOOD CITY SCHOOLS

PROJECT ADDRESS: 2501 BRYDEN RD BEACHWOOD, OH 44122

PROJECT SHEET: 20004

GEOMETRIC PLAN

DATE: 04/12/24

SCALE: 1"=32'

PROJECT NAME: BRYDEN ES BEACHWOOD CITY SCHOOLS

PROJECT ADDRESS: 2501 BRYDEN RD BEACHWOOD, OH 44122

PROJECT SHEET: 20004



- LEGEND**
- PROPOSED AGGREGATE. SEE AGGREGATE PAVEMENT DETAIL ON SHEET CES200.
  - PROPOSED AGGREGATE. SEE CONSTRUCTION ENTRANCE DETAILS AND SPECIFICATIONS ON SHEET CES203.
  - PROPOSED STANDARD DUTY ASPHALT PAVEMENT. SEE DETAILS AND SPECIFICATIONS ON SHEET CES200.
- KEY NOTES**
- PROPOSED CONTRACTOR LAYDOWN AREA. TO BE IMPROVED WITH TEMPORARY AGGREGATE PAVEMENT. LIMITS TO BE DETERMINED BY CONTRACTOR.

**SITE DATA**

ADDRESS: 2501 BRYDEN ROAD, BEACHWOOD, OH 44122

ZONING DISTRICT: U-5 PUBLIC AND INSTITUTIONAL

SITE AREA: 15.18 AC.

AREA OF DISTURBANCE: 9.26 AC.

CURRENT USE: U-5 PUBLIC AND INSTITUTIONAL

PROPOSED USE: U-5 PUBLIC AND INSTITUTIONAL

	REQUIRED	PROVIDED
MAX. BUILDING HEIGHT	40'	32'
MIN. STREET FRONTAGE	250'	422'
FRONT YARD BLDG. SETBACK	50'	499'
SIDE YARD BLDG. SETBACK	40'	50'
REAR YARD BLDG. SETBACK	40'	330'
SIDE YARD PARKING SETBACK	10'	0'
REAR YARD PARKING SETBACK	10'	611'
MAX. BUILDING COVERAGE	25%	10.9%
MIN. PLANTED AREA COVERAGE	25%	25%
PARKING SPACE SIZE:	180 SF.	230 SF.
DRIVE AISLE MIN 20'	24'	24'

MATCH LINE. SEE SHEET CES201

**TBA**  
Thorson Baker Associates  
3300 West Stephenson Road, Columbus, OH 43228  
(614) 695-6600 FAX (614) 695-6675 FAX



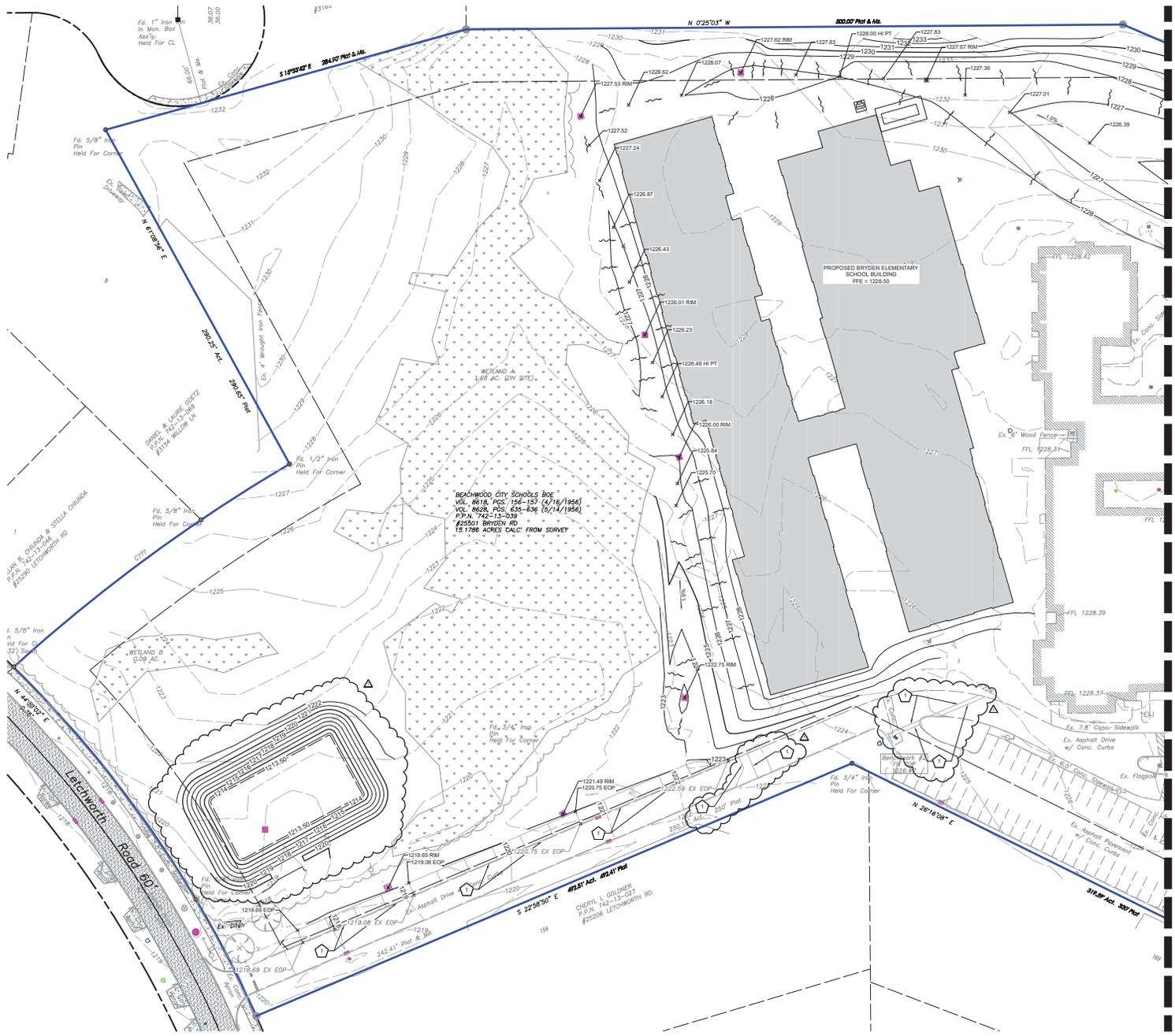
**GEOMETRIC PLAN**  
1"=32'





NO.	REV.	DATE	DESCRIPTION
1	01	04/17/24	ISSUE FOR PERMIT
2	01	04/17/24	ISSUE FOR PERMIT
3	01	04/17/24	ISSUE FOR PERMIT
4	01	04/17/24	ISSUE FOR PERMIT
5	01	04/17/24	ISSUE FOR PERMIT
6	01	04/17/24	ISSUE FOR PERMIT
7	01	04/17/24	ISSUE FOR PERMIT
8	01	04/17/24	ISSUE FOR PERMIT
9	01	04/17/24	ISSUE FOR PERMIT
10	01	04/17/24	ISSUE FOR PERMIT

NO.	REV.	DATE	DESCRIPTION
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3	01	04/17/24	ISSUE FOR PERMIT
4	01	04/17/24	ISSUE FOR PERMIT
5	01	04/17/24	ISSUE FOR PERMIT
6	01	04/17/24	ISSUE FOR PERMIT
7	01	04/17/24	ISSUE FOR PERMIT
8	01	04/17/24	ISSUE FOR PERMIT
9	01	04/17/24	ISSUE FOR PERMIT
10	01	04/17/24	ISSUE FOR PERMIT



**LEGEND**

- EXISTING CONTOURS
- PROPOSED CONTOURS
- PROPOSED SPOT ELEVATIONS
- DRAINAGE FLOW ARROW
- EXISTING WETLANDS

**KEY NOTES**

- MEET & MATCH EXISTING PAVEMENT ELEVATION

MATCH LINE. SEE SHEET CES301

**TBA**  
Thorson Baker Associates  
CONSULTING ENGINEERS  
3000 West Strawn Road, Columbus, OH 43228  
(614) 695-6600 FAX (614) 695-6675 FAX



**GRADING PLAN**  
1" = 30'

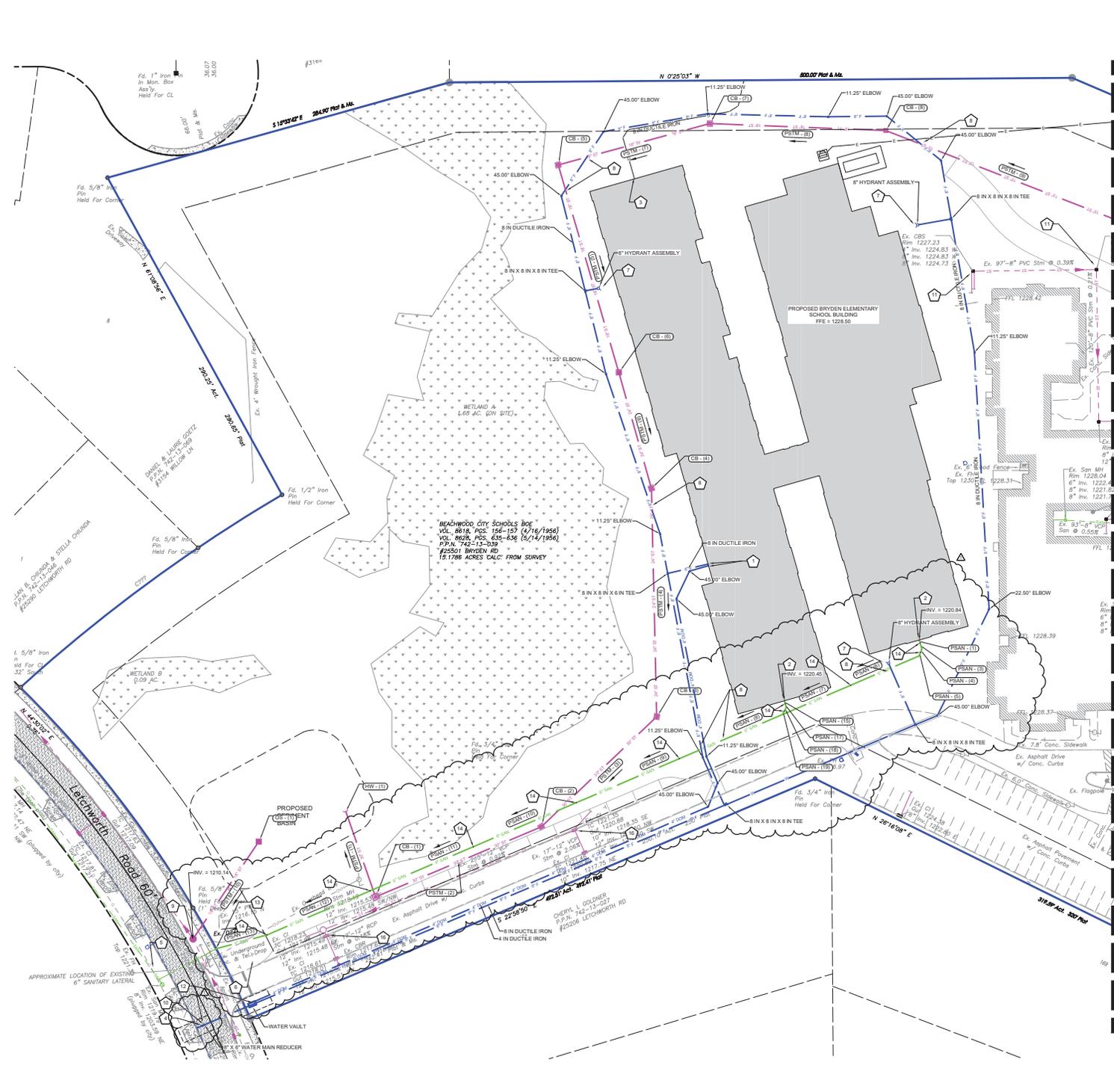


**GRADING PLAN**

Sheet No: CES300  
Sheet Title: GRADING PLAN  
Sheet Number: CES300



NO.	DATE	BY	DESCRIPTION
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2	04/23/24	TD	ISSUED FOR PERMIT
3	04/23/24	TD	ISSUED FOR PERMIT
4	04/23/24	TD	ISSUED FOR PERMIT
5	04/23/24	TD	ISSUED FOR PERMIT
6	04/23/24	TD	ISSUED FOR PERMIT
7	04/23/24	TD	ISSUED FOR PERMIT
8	04/23/24	TD	ISSUED FOR PERMIT
9	04/23/24	TD	ISSUED FOR PERMIT
10	04/23/24	TD	ISSUED FOR PERMIT
11	04/23/24	TD	ISSUED FOR PERMIT
12	04/23/24	TD	ISSUED FOR PERMIT
13	04/23/24	TD	ISSUED FOR PERMIT
14	04/23/24	TD	ISSUED FOR PERMIT
15	04/23/24	TD	ISSUED FOR PERMIT
16	04/23/24	TD	ISSUED FOR PERMIT
17	04/23/24	TD	ISSUED FOR PERMIT
18	04/23/24	TD	ISSUED FOR PERMIT
19	04/23/24	TD	ISSUED FOR PERMIT
20	04/23/24	TD	ISSUED FOR PERMIT



- LEGEND**
- SAN — EXISTING SANITARY
  - ST — EXISTING STORM
  - W — EXISTING WATER
  - PE — PROPOSED ELECTRIC (SHOWN FOR HORIZONTAL ROUTING REFERENCE ONLY. SEE ELECTRICAL PLANS FOR DETAILS AND SPECIFICATIONS.)
  - PG — PROPOSED GAS (SHOWN FOR HORIZONTAL ROUTING REFERENCE ONLY. DETAILS AND SPECIFICATIONS PER GAS COMPANY REQUIREMENTS.)
  - CS — PROPOSED SANITARY
  - SW — PROPOSED WATER LINE (SEE DETAILS AND SPECIFICATIONS ON SHEET CES601)
  - ST — PROPOSED STORM
  - W — PROPOSED DOMESTIC WATER (SEE DETAILS AND SPECIFICATIONS ON SHEET CES601)
  - CB — PROPOSED CATCH BASIN (CB) CURB INLET (CI) (SEE SHEET CES600 FOR DETAILS AND SPECIFICATIONS.)
  - CO — PROPOSED CLEANOUT (CO) (SEE SHEET CES602 FOR DETAILS AND SPECIFICATIONS.)

- KEY NOTES**
1. TERMINATE AND STOP WATER LINE.
  2. TERMINATE AND STOP SANITARY LATERAL.
  3. CONNECT TO EXISTING GAS LINE. COORDINATE WITH UTILITY COMPANY. SEE MECHANICAL PLANS FOR SIZES, ETC.
  4. FURNISH AND INSTALL 8"X8" TAPPING SLAVE AND VALVE. INSTALL WATER VALVE.
  5. NOT USED.
  6. FURNISH AND INSTALL WATER MAIN VAULT. SEE DETAILS AND SPECIFICATIONS ON SHEET CES601.
  7. FURNISH AND INSTALL FIRE HYDRANT ASSEMBLY.
  8. MAINTAIN MIN. 18" VERTICAL CLEARANCE BETWEEN SEWER LINE AND WATER LINE. LOWER WATERLINE AS REQUIRED.
  9. CORE DRILL EXISTING STORM STRUCTURE. FILL AROUND PIPE PER ODOT ITEM 611.
  10. FURNISH AND INSTALL 1/2" X 6" REDUCER.
  11. ADJUST RIM OF EXISTING CATCH BASIN TO ACCOMMODATE FINISH GRADE ELEVATION OF CONSTRUCTION DRIVE AND CONTRACTOR LAYOUT AREA.
  12. BORE WATER LINE BELOW LEITCHWORTH ROAD PAVEMENT. SEE DETAILS AND SPECIFICATIONS ON SHEET CES601.
  13. CONNECT SANITARY LINE TO EXISTING SANITARY LATERAL WITH SANITARY RISER. SEE DETAILS AND SPECIFICATIONS ON SHEET CES602.
  14. FURNISH AND INSTALL TEST TEE. SEE DETAIL ON SHEET CES602.
  15. NOT USED.
  16. REMOVE ODOT 3-A FRAME & GRATE. REPLACE W/ FLAT TOP. SET TOP ELEVATION TO FINISHED GRADE.

- NOTES:**
1. ALL SEWER WORK IN THE R/W OF PUBLIC ROAD SHALL BE BACK FILLED WITH LHM.
  2. MINIMUM SIZE OF SANITARY OR STORM SEWER LATERAL IS 6 INCH. USE SDR 35 UP TO 13 FEET DEEP AND USE SDR 26 FOR DEEPER DEPTHS. ALL SEWER WORK SHALL CONFORM TO THE COUNTY'S UNIFORM STANDARDS FOR SEWERAGE IMPROVEMENTS.
  3. ROOF DRAINS, FOUNDATION DRAINS, AND OTHER CLEAN WATER CONNECTIONS TO THE SANITARY SEWER ARE PROHIBITED.

MATCH LINE. SEE SHEET CES400

**TBA**  
 Thorson Baker Associates  
 3300 West Stephenson Road  
 Columbus, Ohio 43228  
 (614) 659-6600 FAX  
 (614) 659-4875 FAX



**UTILITY PLAN**  
 TBA  
 sheet number  
 CES400  
 20004

























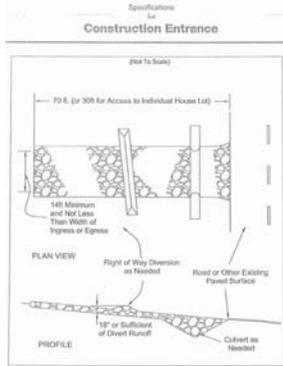












**Specifications for Construction Entrance**

1. Stone Size—DOT # 21 or 25 1/2 inch shall be used, or equivalent coarse equipment.
2. Length—The construction entrance shall be as long as required to stabilize high traffic areas, but not less than 100' lengthwise, except 50' minimum for existing entrances.
3. Width—The entrance shall be at least 14' wide, but not less than the full width at points where ingress or egress occurs.
4. Slope—The stone layer shall be at least 18 inches thick for high traffic entrances or at least 12 inches for heavy duty entrances.
5. Slope—The stone layer shall be at least 18 inches thick for high traffic entrances or at least 12 inches for heavy duty entrances.
6. Slope—The stone layer shall be at least 18 inches thick for high traffic entrances or at least 12 inches for heavy duty entrances.
7. Slope—The stone layer shall be at least 18 inches thick for high traffic entrances or at least 12 inches for heavy duty entrances.
8. Slope—The stone layer shall be at least 18 inches thick for high traffic entrances or at least 12 inches for heavy duty entrances.
9. Slope—The stone layer shall be at least 18 inches thick for high traffic entrances or at least 12 inches for heavy duty entrances.
10. Slope—The stone layer shall be at least 18 inches thick for high traffic entrances or at least 12 inches for heavy duty entrances.

Figure 7.0.1 Aggregate Gradations for Construction Entrance

Material	Maximum Sieve Size	Minimum Sieve Size	Percentage
Maximum Sieve Size	200 Sieve	100 Sieve	100%
Minimum Sieve Size	100 Sieve	40 Sieve	100%
Maximum Sieve Size	200 Sieve	100 Sieve	100%
Minimum Sieve Size	100 Sieve	40 Sieve	100%
Maximum Sieve Size	200 Sieve	100 Sieve	100%
Minimum Sieve Size	100 Sieve	40 Sieve	100%

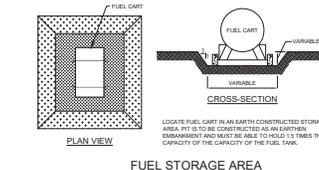
**Specifications for Temporary Seeding**

Table 7.0.1 Temporary Seeding Species Selection

Seeding Date	Species	LA/PSW/SP	LA/PSW
Seeding in August 15	Barren	2	100 (0) barbed
	Barren	2	40
	Barren	2	110 (2) barbed
	Barren	2	40
	Barren	2	110 (2) barbed
	Barren	2	40
	Barren	2	110 (2) barbed
	Barren	2	40
	Barren	2	110 (2) barbed
	Barren	2	40
Seeding 100 to November	Barren	2	100 (0) barbed
	Barren	2	40
	Barren	2	110 (2) barbed
	Barren	2	40
	Barren	2	110 (2) barbed
	Barren	2	40
	Barren	2	110 (2) barbed
	Barren	2	40
	Barren	2	110 (2) barbed
	Barren	2	40

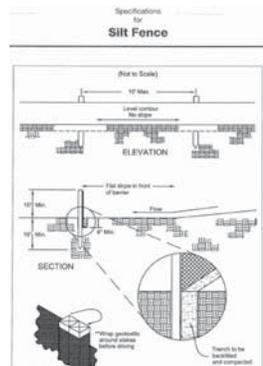
Notes: 1. LA = 1/2" (see table) or 1/4" (see table) seed. 2. PSW = 1/2" (see table) or 1/4" (see table) seed. 3. SP = 1/2" (see table) or 1/4" (see table) seed.

1. Structural analysis and settlement control practices shall be observed and settlement control shall be installed and adjusted with temporary seeding prior to grading of the construction site.
2. Temporary seed shall be applied between construction operations on soil that will not be graded or resurfaced for 21 days or greater. Three sites shall be seeded within 7 days after grading.
3. The seedbed should be prepared and level to ensure the success of establishing vegetation. Temporary seeding should not be prepared if soil without preparation to soil profile.



**Specifications for Fuel Storage Area**

LOCATE FUEL CART IN AN EARTH CONSTRUCTED STORAGE AREA, NOT TO BE CONSTRUCTED AS A CONCRETE FOUNDATION. ADD HEIGHT AS NOTED TO THE 1.5 TIMES THE CAPACITY OF THE FUEL TANK.



**Specifications for Silt Fence**

1. Silt fence shall be constructed between up-slope and down-slope slopes.
2. Silt fence shall be placed on a firm, level surface.
3. Silt fence shall be placed on a firm, level surface.
4. Silt fence shall be placed on a firm, level surface.
5. Silt fence shall be placed on a firm, level surface.
6. Silt fence shall be placed on a firm, level surface.
7. Silt fence shall be placed on a firm, level surface.
8. Silt fence shall be placed on a firm, level surface.
9. Silt fence shall be placed on a firm, level surface.
10. Silt fence shall be placed on a firm, level surface.

Table 6.3.2 Minimum criteria for Silt Fence (2011, 2012)

Material	Minimum Sieve Size	Minimum Sieve Size	Percentage
Maximum Sieve Size	200 Sieve	100 Sieve	100%
Minimum Sieve Size	100 Sieve	40 Sieve	100%
Maximum Sieve Size	200 Sieve	100 Sieve	100%
Minimum Sieve Size	100 Sieve	40 Sieve	100%

**Specifications for Temporary Seeding**

Table 7.0.1 Temporary Seeding Species Selection

Seeding Date	Species	LA/PSW/SP	LA/PSW
Seeding in August 15	Barren	2	100 (0) barbed
	Barren	2	40
	Barren	2	110 (2) barbed
	Barren	2	40
	Barren	2	110 (2) barbed
	Barren	2	40
	Barren	2	110 (2) barbed
	Barren	2	40
	Barren	2	110 (2) barbed
	Barren	2	40
Seeding 100 to November	Barren	2	100 (0) barbed
	Barren	2	40
	Barren	2	110 (2) barbed
	Barren	2	40
	Barren	2	110 (2) barbed
	Barren	2	40
	Barren	2	110 (2) barbed
	Barren	2	40
	Barren	2	110 (2) barbed
	Barren	2	40

Notes: 1. LA = 1/2" (see table) or 1/4" (see table) seed. 2. PSW = 1/2" (see table) or 1/4" (see table) seed. 3. SP = 1/2" (see table) or 1/4" (see table) seed.

1. Application of temporary seeding shall include mulch, which shall be applied during or immediately after seeding. Seeding shall include mulch applied during or immediately after seeding. Seeding shall include mulch applied during or immediately after seeding.
2. Mulch—If straw is used, it shall be certified weed-free and applied at a rate of 2 tons per acre or 100 lbs per 1,000 sq ft.
3. Synthetic Mulch—Synthetic mulches such as Agrylic DLS High-Tex, DCA-70, Polymul, Terra-Tex or equivalent may be used at rates specified by the manufacturer.
4. Wood-Cellulose Fiber—Wood-cellulose fiber shall be applied at a rate of 2 tons per acre or 100 lbs per 1,000 sq ft.
5. Other—Other acceptable mulches include mulch applied according to manufacturer's recommendations or wood chips applied at a rate of 2 tons per acre.

**Specifications for Permanent Seeding**

1. Substrate preparation and soil amendment shall be used to reduce soil compaction and allow maximum infiltration. Substrate preparation shall include soil amendment and soil amendment. Substrate preparation shall include soil amendment and soil amendment.
2. The soil shall be graded and seeded to permit the use of soil amendment for amended preparation and seeding vegetation.
3. The soil shall be graded and seeded to permit the use of soil amendment for amended preparation and seeding vegetation.

1. Lower agricultural ground structures shall be applied to soil at an amount of 1/2 ton per acre or 50 lbs per 1,000 sq ft.
2. Hydroponics—If wood cellulose fiber is used, it shall be applied at a rate of 2 tons per acre or 100 lbs per 1,000 sq ft.
3. The soil shall be graded and seeded to permit the use of soil amendment for amended preparation and seeding vegetation.

1. Seed production shall be established before up-slope and down-slope slopes.
2. Seed production shall be established before up-slope and down-slope slopes.
3. Seed production shall be established before up-slope and down-slope slopes.

**Specifications for Permanent Seeding**

1. Application of temporary seeding shall include mulch, which shall be applied during or immediately after seeding. Seeding shall include mulch applied during or immediately after seeding. Seeding shall include mulch applied during or immediately after seeding.
2. Mulch—If straw is used, it shall be certified weed-free and applied at a rate of 2 tons per acre or 100 lbs per 1,000 sq ft.
3. Synthetic Mulch—Synthetic mulches such as Agrylic DLS High-Tex, DCA-70, Polymul, Terra-Tex or equivalent may be used at rates specified by the manufacturer.
4. Wood-Cellulose Fiber—Wood-cellulose fiber shall be applied at a rate of 2 tons per acre or 100 lbs per 1,000 sq ft.
5. Other—Other acceptable mulches include mulch applied according to manufacturer's recommendations or wood chips applied at a rate of 2 tons per acre.

Table 7.0.2 Permanent Seeding

Seed Size	Seeding Rate	Notes
1/4" to 1/2"	100-150 lbs/acre	For sites requiring a minimum of 100 lbs/acre
1/2" to 3/4"	150-200 lbs/acre	For sites requiring a minimum of 150 lbs/acre
3/4" to 1"	200-250 lbs/acre	For sites requiring a minimum of 200 lbs/acre
1" to 1 1/2"	250-300 lbs/acre	For sites requiring a minimum of 250 lbs/acre
1 1/2" to 2"	300-350 lbs/acre	For sites requiring a minimum of 300 lbs/acre
2" to 2 1/2"	350-400 lbs/acre	For sites requiring a minimum of 350 lbs/acre
2 1/2" to 3"	400-450 lbs/acre	For sites requiring a minimum of 400 lbs/acre
3" to 3 1/2"	450-500 lbs/acre	For sites requiring a minimum of 450 lbs/acre
3 1/2" to 4"	500-550 lbs/acre	For sites requiring a minimum of 500 lbs/acre
4" to 4 1/2"	550-600 lbs/acre	For sites requiring a minimum of 550 lbs/acre
4 1/2" to 5"	600-650 lbs/acre	For sites requiring a minimum of 600 lbs/acre
5" to 5 1/2"	650-700 lbs/acre	For sites requiring a minimum of 650 lbs/acre
5 1/2" to 6"	700-750 lbs/acre	For sites requiring a minimum of 700 lbs/acre
6" to 6 1/2"	750-800 lbs/acre	For sites requiring a minimum of 750 lbs/acre
6 1/2" to 7"	800-850 lbs/acre	For sites requiring a minimum of 800 lbs/acre
7" to 7 1/2"	850-900 lbs/acre	For sites requiring a minimum of 850 lbs/acre
7 1/2" to 8"	900-950 lbs/acre	For sites requiring a minimum of 900 lbs/acre
8" to 8 1/2"	950-1000 lbs/acre	For sites requiring a minimum of 950 lbs/acre
8 1/2" to 9"	1000-1050 lbs/acre	For sites requiring a minimum of 1000 lbs/acre
9" to 9 1/2"	1050-1100 lbs/acre	For sites requiring a minimum of 1050 lbs/acre
9 1/2" to 10"	1100-1150 lbs/acre	For sites requiring a minimum of 1100 lbs/acre
10" to 10 1/2"	1150-1200 lbs/acre	For sites requiring a minimum of 1150 lbs/acre
10 1/2" to 11"	1200-1250 lbs/acre	For sites requiring a minimum of 1200 lbs/acre
11" to 11 1/2"	1250-1300 lbs/acre	For sites requiring a minimum of 1250 lbs/acre
11 1/2" to 12"	1300-1350 lbs/acre	For sites requiring a minimum of 1300 lbs/acre
12" to 12 1/2"	1350-1400 lbs/acre	For sites requiring a minimum of 1350 lbs/acre
12 1/2" to 13"	1400-1450 lbs/acre	For sites requiring a minimum of 1400 lbs/acre
13" to 13 1/2"	1450-1500 lbs/acre	For sites requiring a minimum of 1450 lbs/acre
13 1/2" to 14"	1500-1550 lbs/acre	For sites requiring a minimum of 1500 lbs/acre
14" to 14 1/2"	1550-1600 lbs/acre	For sites requiring a minimum of 1550 lbs/acre
14 1/2" to 15"	1600-1650 lbs/acre	For sites requiring a minimum of 1600 lbs/acre
15" to 15 1/2"	1650-1700 lbs/acre	For sites requiring a minimum of 1650 lbs/acre
15 1/2" to 16"	1700-1750 lbs/acre	For sites requiring a minimum of 1700 lbs/acre
16" to 16 1/2"	1750-1800 lbs/acre	For sites requiring a minimum of 1750 lbs/acre
16 1/2" to 17"	1800-1850 lbs/acre	For sites requiring a minimum of 1800 lbs/acre
17" to 17 1/2"	1850-1900 lbs/acre	For sites requiring a minimum of 1850 lbs/acre
17 1/2" to 18"	1900-1950 lbs/acre	For sites requiring a minimum of 1900 lbs/acre
18" to 18 1/2"	1950-2000 lbs/acre	For sites requiring a minimum of 1950 lbs/acre
18 1/2" to 19"	2000-2050 lbs/acre	For sites requiring a minimum of 2000 lbs/acre
19" to 19 1/2"	2050-2100 lbs/acre	For sites requiring a minimum of 2050 lbs/acre
19 1/2" to 20"	2100-2150 lbs/acre	For sites requiring a minimum of 2100 lbs/acre
20" to 20 1/2"	2150-2200 lbs/acre	For sites requiring a minimum of 2150 lbs/acre
20 1/2" to 21"	2200-2250 lbs/acre	For sites requiring a minimum of 2200 lbs/acre
21" to 21 1/2"	2250-2300 lbs/acre	For sites requiring a minimum of 2250 lbs/acre
21 1/2" to 22"	2300-2350 lbs/acre	For sites requiring a minimum of 2300 lbs/acre
22" to 22 1/2"	2350-2400 lbs/acre	For sites requiring a minimum of 2350 lbs/acre
22 1/2" to 23"	2400-2450 lbs/acre	For sites requiring a minimum of 2400 lbs/acre
23" to 23 1/2"	2450-2500 lbs/acre	For sites requiring a minimum of 2450 lbs/acre
23 1/2" to 24"	2500-2550 lbs/acre	For sites requiring a minimum of 2500 lbs/acre
24" to 24 1/2"	2550-2600 lbs/acre	For sites requiring a minimum of 2550 lbs/acre
24 1/2" to 25"	2600-2650 lbs/acre	For sites requiring a minimum of 2600 lbs/acre
25" to 25 1/2"	2650-2700 lbs/acre	For sites requiring a minimum of 2650 lbs/acre
25 1/2" to 26"	2700-2750 lbs/acre	For sites requiring a minimum of 2700 lbs/acre
26" to 26 1/2"	2750-2800 lbs/acre	For sites requiring a minimum of 2750 lbs/acre
26 1/2" to 27"	2800-2850 lbs/acre	For sites requiring a minimum of 2800 lbs/acre
27" to 27 1/2"	2850-2900 lbs/acre	For sites requiring a minimum of 2850 lbs/acre
27 1/2" to 28"	2900-2950 lbs/acre	For sites requiring a minimum of 2900 lbs/acre
28" to 28 1/2"	2950-3000 lbs/acre	For sites requiring a minimum of 2950 lbs/acre
28 1/2" to 29"	3000-3050 lbs/acre	For sites requiring a minimum of 3000 lbs/acre
29" to 29 1/2"	3050-3100 lbs/acre	For sites requiring a minimum of 3050 lbs/acre
29 1/2" to 30"	3100-3150 lbs/acre	For sites requiring a minimum of 3100 lbs/acre
30" to 30 1/2"	3150-3200 lbs/acre	For sites requiring a minimum of 3150 lbs/acre
30 1/2" to 31"	3200-3250 lbs/acre	For sites requiring a minimum of 3200 lbs/acre
31" to 31 1/2"	3250-3300 lbs/acre	For sites requiring a minimum of 3250 lbs/acre
31 1/2" to 32"	3300-3350 lbs/acre	For sites requiring a minimum of 3300 lbs/acre
32" to 32 1/2"	3350-3400 lbs/acre	For sites requiring a minimum of 3350 lbs/acre
32 1/2" to 33"	3400-3450 lbs/acre	For sites requiring a minimum of 3400 lbs/acre
33" to 33 1/2"	3450-3500 lbs/acre	For sites requiring a minimum of 3450 lbs/acre
33 1/2" to 34"	3500-3550 lbs/acre	For sites requiring a minimum of 3500 lbs/acre
34" to 34 1/2"	3550-3600 lbs/acre	For sites requiring a minimum of 3550 lbs/acre
34 1/2" to 35"	3600-3650 lbs/acre	For sites requiring a minimum of 3600 lbs/acre
35" to 35 1/2"	3650-3700 lbs/acre	For sites requiring a minimum of 3650 lbs/acre
35 1/2" to 36"	3700-3750 lbs/acre	For sites requiring a minimum of 3700 lbs/acre
36" to 36 1/2"	3750-3800 lbs/acre	For sites requiring a minimum of 3750 lbs/acre
36 1/2" to 37"	3800-3850 lbs/acre	For sites requiring a minimum of 3800 lbs/acre
37" to 37 1/2"	3850-3900 lbs/acre	For sites requiring a minimum of 3850 lbs/acre
37 1/2" to 38"	3900-3950 lbs/acre	For sites requiring a minimum of 3900 lbs/acre
38" to 38 1/2"	3950-4000 lbs/acre	For sites requiring a minimum of 3950 lbs/acre
38 1/2" to 39"	4000-4050 lbs/acre	For sites requiring a minimum of 4000 lbs/acre
39" to 39 1/2"	4050-4100 lbs/acre	For sites requiring a minimum of 4050 lbs/acre
39 1/2" to 40"	4100-4150 lbs/acre	For sites requiring a minimum of 4100 lbs/acre
40" to 40 1/2"	4150-4200 lbs/acre	For sites requiring a minimum of 4150 lbs/acre
40 1/2" to 41"	4200-4250 lbs/acre	For sites requiring a minimum of 4200 lbs/acre
41" to 41 1/2"	4250-4300 lbs/acre	For sites requiring a minimum of 4250 lbs/acre
41 1/2" to 42"	4300-4350 lbs/acre	For sites requiring a minimum of 4300 lbs/acre
42" to 42 1/2"	4350-4400 lbs/acre	For sites requiring a minimum of 4350 lbs/acre
42 1/2" to 43"	4400-4450 lbs/acre	For sites requiring a minimum of 4400 lbs/acre
43" to 43 1/2"	4450-4500 lbs/acre	For sites requiring a minimum of 4450 lbs/acre
43 1/2" to 44"	4500-4550 lbs/acre	For sites requiring a minimum of 4500 lbs/acre
44" to 44 1/2"	4550-4600 lbs/acre	For sites requiring a minimum of 4550 lbs/acre
44 1/2" to 45"	4600-4650 lbs/acre	For sites requiring a minimum of 4600 lbs/acre
45" to 45 1/2"	4650-4700 lbs/acre	For sites requiring a minimum of 4650 lbs/acre
45 1/2" to 46"	4700-4750 lbs/acre	For sites requiring a minimum of 4700 lbs/acre
46" to 46 1/2"	4750-4800 lbs/acre	For sites requiring a minimum of 4750 lbs/acre
46 1/2" to 47"	4800-4850 lbs/acre	For sites requiring a minimum of 4800 lbs/acre
47" to 47 1/2"	4850-4900 lbs/acre	For sites requiring a minimum of 4850 lbs/acre
47 1/2" to 48"	4900-4950 lbs/acre	For sites requiring a minimum of 4900 lbs/acre
48" to 48 1/2"	4950-5000 lbs/acre	For sites requiring a minimum of 4950 lbs/acre
48 1/2" to 49"	5000-5050 lbs/acre	For sites requiring a minimum of 5000 lbs/acre
49" to 49 1/2"	5050-5100 lbs/acre	For sites requiring a minimum of 5050 lbs/acre
49 1/2" to 50"	5100-5150 lbs/acre	For sites requiring a minimum of 5100 lbs/acre
50" to 50 1/2"	5150-5200 lbs/acre	For sites requiring a minimum of 5150 lbs/acre
50 1/2" to 51"	5200-5250 lbs/acre	For sites requiring a minimum of 5200 lbs/acre
51" to 51 1/2"	5250-5300 lbs/acre	For sites requiring a minimum of 5250 lbs/acre
51 1/2" to 52"	5300-5350 lbs/acre	For sites requiring a minimum of 5300 lbs/acre
52" to 52 1/2"	5350-5400 lbs/acre	For sites requiring a minimum of 5350 lbs/acre
52 1/2" to 53"	5400-5450 lbs/acre	For sites requiring a minimum of 5400 lbs/acre
53" to 53 1/2"	5450-5500 lbs/acre	For sites requiring a minimum of 5450 lbs/acre
53 1/2" to 54"	5500-5550 lbs/acre	For sites requiring a minimum of 5500 lbs/acre
54" to 54 1/2"	5550-5600 lbs/acre	For sites requiring a minimum of 5550 lbs/acre
54 1/2" to 55"	5600-5650 lbs/acre	For sites requiring a minimum of 5600 lbs/acre
55" to 55 1/2"	5650-5700 lbs/acre	For sites requiring a minimum of 5650 lbs/acre
55 1/2" to 56"	5700-5750 lbs/acre	For sites requiring a minimum of 5700 lbs/acre
56" to 56 1/2"	5750-5800 lbs/acre	For sites requiring a minimum of 5750 lbs/acre
56 1/2" to 57"	5800-5850 lbs/acre	For sites requiring a minimum of 5800 lbs/acre
57" to 57 1/2"	5850-5900 lbs/acre	For sites requiring a minimum of 5850 lbs/acre
57 1/2" to 58"	5900-5950 lbs/acre	For sites requiring a minimum of 5900























# Tactical Planning, LLC

P.O. Box 3163  
Cuyahoga Falls, Ohio 44223  
Ph: 440-725-1886  
geosmerigan@gmail.com

TO: Beachwood Planning Commission

FROM: George Smerigan, City Planner



DATE: May 11, 2024

RE: **P&Z 2024-2(A) ThenDesign Architecture  
Beachwood Board of Education  
Bryden School  
Final Site Development Plan**

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This request is for approval of the final site development plan. The property is zoned U-5 Public and Institutional District. The subject site is 15.18 acres. The applicant is proposing to construct a new elementary school that would accommodate grades Pre-K through 2. The proposed building is in the shape of an “H” with 32 classrooms and about 2,250 square feet of administrative offices. One leg of the H is a core area that would house a media center, cafeteria, gymnasium, and specialty classrooms such as art and music. The building has a maximum height of 32 feet, which conforms to the Code. The packet includes building floor plans as well as building elevations.

The site would be accessed from both Bryden Road and Letchworth Road. The driveways will remain basically in their existing locations. Buses would use the Bryden Road access, while parent drop-off and pick-up would be via Letchworth. The site plan indicates a total of 96 parking spaces which exceeds the minimum Code requirement. There are wetlands on the subject site which limit building location options. As part of preliminary site plan approval, the applicant was granted a setback variance from the wetland boundary for an emergency access drive and a parking setback variance from the western side lot line. With those variances the proposed final site plan complies with all building and parking setback requirements.

The proposed new building will be located generally in the center of the site with parking to the southwest of the building and play areas and ballfields to the southeast of the building. The site area north of the proposed building is

predominantly wetlands. In addition to ballfields, the site improvements include multiple play structures, swing sets, and a picnic shelter.

The applicant has provided a detailed landscaping plan that specifies the plant materials, the number of each, the initial planting size, and planting specifications as required by the Zoning Code. There is a combination of ornamental and evergreen trees proposed as well as a variety of shrubs. The landscaping plan also includes details for the various playground equipment. The landscaping plan includes a buffer area with a heavier concentration of trees along a portion of the eastern property line where the site abuts the homes on Willow Lane and the Wedgewood condominiums. The landscape plan appears to meet City standards.

The applicant has also provided a lighting photometric plan. The proposed lighting is all LED with full cut-off fixtures in compliance with the Zoning Code. The photometric plan indicates no light spillage beyond the boundaries of the subject site.

The final site appears to be compliant with the minimum standards of the U-5 Public and Institutional District, with the site plan submission requirements, and with the previously approved preliminary site development plan. It is recommended that the Planning and Zoning Commission grant final site development plan approval subject to compliance with the comments and recommendations of the City Engineer and Fire Department.



**MEMORANDUM**  
**CITY OF BEACHWOOD**  
**PLANNING AND ZONING COMMISSION MEETING**

**Meeting Date: May 30, 2024**

**Report Date: May 20, 2024**

2022120.02

To: Mr. Brian Roenigk  
Building Commissioner

From: Joseph R. Ciuni, P.E. P.S.  
City Engineer

**AGENDA ITEM NO. 6**

**P & Z 2024-02 Ryan Schmit, Then Design Architecture, on behalf of Beachwood Board of Education, is requesting final site plan approval for a proposed new school to be located at 25501 Bryden Road, Bryden Elementary School.**

We have reviewed the plans submitted and we have already recommended approval of an early site package. The City Administration, Planning Director and City Engineer's office has met with the School Board and their design team several times over the past 4 months.

We are recommending final site plan approval subject to final engineering review of the final plans. The plans submitted are probably 90% complete and we feel comfortable recommending final site plan approval.

## Fire Prevention Bureau

## P&Z Report

To: Planning and Zoning Commission  
From: Matthew Domonkos, Assistant Chief  
Date: 05/22/2024  
Re: P&Z # 2024-2A Final Site Plan (25501 Bryden)

---

The Fire Prevention Bureau has reviewed the drawings/documents submitted for this item.

1. Provide fire lane around structure as discussed in planning meeting. Minimum width of 22 feet.
2. Standpipe will be installed due to limited vehicle access. Location of standpipe and FDC to be determined by fire prevention.
3. Fire hydrants to be installed around structure. Location to be determined at plan submittal by fire prevention.
4. The fire department has no additional comments at this time.

*Matthew Domonkos*

Matthew Domonkos  
Assistant Fire Chief

**PLANNING & ZONING APPLICATION**

**Form must be completed or will not be processed**

APPLICATION DATE: 04/26/24

OWNER OF BUILDING: Beachwood Board of Education PHONE: 216-464-2600

STREET ADDRESS: 24601 Fairmount Boulevard

CITY/STATE/ZIP: Beachwood, OH 44122

APPLICANT: Ryan Schmit PHONE: 216-269-2266

COMPANY OR FIRM: tda

EMAIL: rschmit@thendesign.com

STREET ADDRESS: 4230 River Street

CITY/STATE/ZIP: Willoughby, OH 44022

**PRESENTER(S) TO APPEAR AT THE P&Z MEETING (include name & email address):**

Ryan Schmit (rschmit@thendesign.com), Robert Hardis (rph@beachwoodschoo.org)

Ken Veon (kev@beachwoodschoo.org), Steve Zannoni (steven.zannoni@thompsonhine.c)

**DESCRIPTION OF THE PROPERTY:**

ADDRESS: 24524 HILLTOP DR, BEACHWOOD, OH, 44122 SUITE # \_\_\_\_\_

TENANT NAME: Hilltop Elementary School

PERMANENT PARCEL # 741 - 12 - 051 PRESENT USE: school PROPOSED USE: school

PURPOSE OF APPLICATION: Final site plan approval.

Zoning setback variances were previously approved.

**NATURE OF THE REQUEST (check as many as apply):**

- Preliminary site plan approval
- Final site plan approval
- Lot split
- Lot consolidation
- Conditional use permit
- Rezoning
- Zoning text amendment
- Other \_\_\_\_\_
- Request for a variance.

Must provide a "Box Score" indicating permitted area, distance, etc. and requested area, distance, etc. with application. Please explain reason for variance (**must indicate a hardship**):

Are there any special issues regarding this application that should be brought to the attention of the Planning Commission and Staff? If so, please explain. \_\_\_\_\_

**Planning & Zoning Submission Requirements:**

- Attach site plan of the proposed development with details such as square footage, height, purpose.
- Attach an aerial photo depicting the property and surrounding area (these are available online via County Auditor’s GIS website or Google Earth).
- Attach copy of the Auditor’s Report from the Cuyahoga County website indicating the real estate taxes for the property have been paid on a current basis.
- Any Planning & Zoning application which requires Council approval must have a representative attend the scheduled Council meeting.

**Planning & Zoning Submission Filing Fees & Deposits:**

A non-refundable filing fee in the amount of thirty-five dollars (\$35.00) shall be paid to the City for each application submitted to the Planning and Zoning Commission; and...

A cash fee in the amount set forth in the following schedule shall be submitted in addition to the filing fee listed in subsection (a) hereof, at the time of application to the Planning and Zoning Commission and/or Council:

	<u>Zoning District</u>	<u>Fee</u>
(1)	U-1, A-1 / U-1, A-2 / U-2 / U-2A / Variances Includes all applications to the Planning Commission and/or Council except applications for lot splits and/or consolidations plats, easement applications, and any application required to be recorded with the County Recorder’s Office.	<b>\$300.00</b>
(2)	All other Zoning Districts for site development plan review (new building/addition)	<b>\$5,000.00</b>
(3)	All lot split and/or consolidation plats, easements, and any application required to be recorded with the County Recorder’s Office	<b>\$1,500.00</b>
(4)	For all Zoning Districts, excepting U-1, A-1/U-1, A-2/U-2/ and U-2A, all other applications, including, but not limited to: special use permits, conditional use permits, variances, text amendments, or similar or harmonious use	<b>\$750.00</b>
(5)	Map Amendment	<b>\$2,500.00</b>

We, the building owner and/or applicant, with our signature below, hereby agree to follow specifically the plans submitted to and approved by the Planning and Zoning Commission and do agree to construct said building(s) as depicted on said approved plans.

Digitally signed by Ryan P. Schmit  
DN: C=US, E=rschmit@thendesign.com,  
O=IDA, CN=Ryan P. Schmit  
Date: 2023.12.19.17:05:21-05'00'  
**Ryan P. Schmit**  
SIGNATURE

**Ryan P. Schmit**  
PRINTED NAME

**04/26/2024**  
DATE

\*\*\*\*\*OFFICE USE ONLY\*\*\*\*\*

PLANNING & ZONING COMMISSION - P&Z No. \_\_\_\_\_ MEETING DATE: \_\_\_\_\_

FEE: RECEIPT # \_\_\_\_\_ AMOUNT \$ \_\_\_\_\_ DATE PAID \_\_\_\_\_

Preliminary Approval: \_\_\_\_\_  
Date

Final Approval: \_\_\_\_\_  
Date

Recommendation to Council:  YES  NO Meeting Date: \_\_\_\_\_

**APPLICANT:** Hilltop Elementary School

<b>P&amp;Z:</b>	<b>ZONING DATA</b>		<b>DATE: 12/21/23</b>
<b>ZONING STANDARDS</b>	<b>REQUIRED</b>	<b>PROPOSED</b>	<b>VARIANCE</b>
ZONING DISTRICT	U5	U5	
MINIMUM LOT AREA	18,000 sf	546,844 sf	
MINIMUM LOT FRONTAGE	100'	121'	
MINIMUM FRONT YARD BUILDING SETBACK	50'	226'	
MINIMUM SIDE YARD BUILDING SETBACK	20'	29'	
MINIMUM REAR YARD BUILDING SETBACK	40'	134'	
MAXIMUM BUILDING HEIGHT	40'	32'	
MINIMUM LANDSCAPED AREA	25% of total area = 136,711 sf		
MINIMUM PARKING SETBACKS	Front = 20' Side = 10' Rear = 20'	Front = 257' Side = 70' Rear = 255'	
MINIMUM DRIVE AISLE	24'	24'	
MINIMUM PARKING STALL	9' x 20' = 180sf	9' x 20' = 180 sf	
MINIMUM OFF-STREET PARKING	29 classrooms x 2 = 58 2,250/200 = 12 70 total spaces	90 total spaces	
SITE DEVELOPMENT PLANS			

# Hilltop Elementary Existing Context Photos



Existing Perimeter - Southwest



Existing Perimeter - West



Existing Perimeter - Northwest



Existing Perimeter - North



Existing Perimeter - Northwest



Existing Perimeter - North

Hilltop Elementary  
Existing Context Photos



Existing Perimeter - North



Existing Perimeter - Northeast



Existing Perimeter - Northeast



Existing Perimeter - East



Existing Perimeter - Southeast



Existing Perimeter - South

# Hilltop Elementary Existing Context Photos



Existing Perimeter - South



Existing Perimeter - South



Existing Perimeter - South



Existing Perimeter - South



Existing Perimeter - South

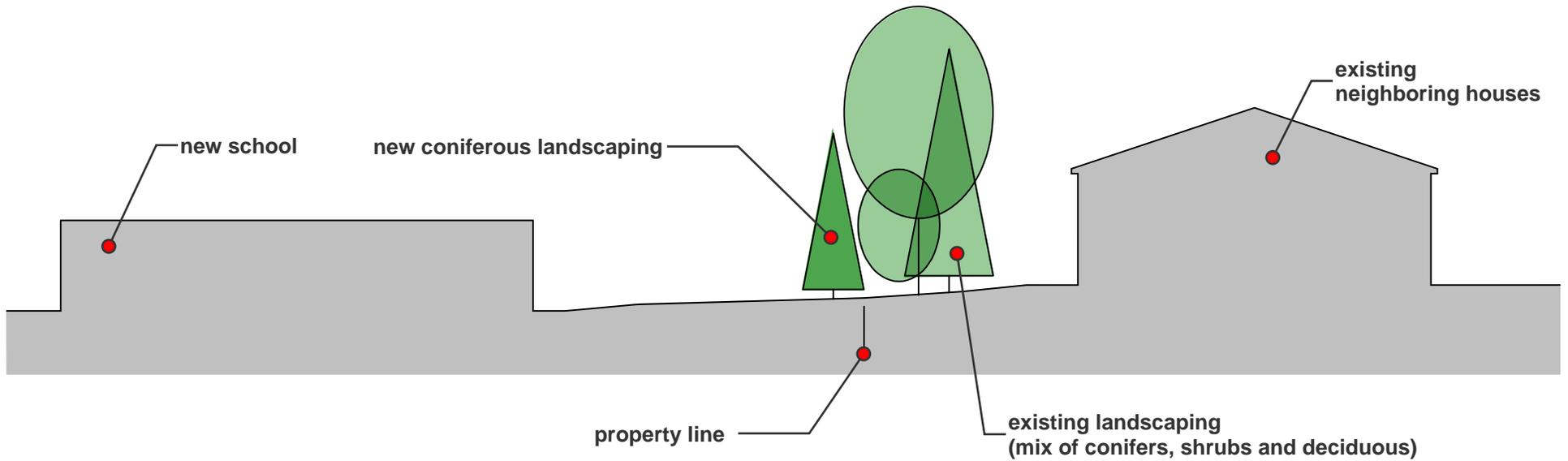


Existing Perimeter - West

Hilltop Elementary  
Existing Context Photos



Existing Perimeter - West



## WEST PROPERTY LINE - SITE SECTION

SCALE 1/2" = 1'-0"



April 26, 2024

Mr. Brian Roenigk  
City of Beachwood Building Commissioner  
25325 Fairmount Blvd  
Beachwood, OH 44122

Re: Hilltop Elementary School

Beachwood, OH

Dear Mr. Roenigk:

This letter is in response to the Fire Prevention Bureau Report dated January 9<sup>th</sup>, 2024 discussed at the January 18<sup>th</sup>, 2024 Planning and Zoning Commission Meeting regarding Preliminary Plan review of the new Bryden Elementary School project.

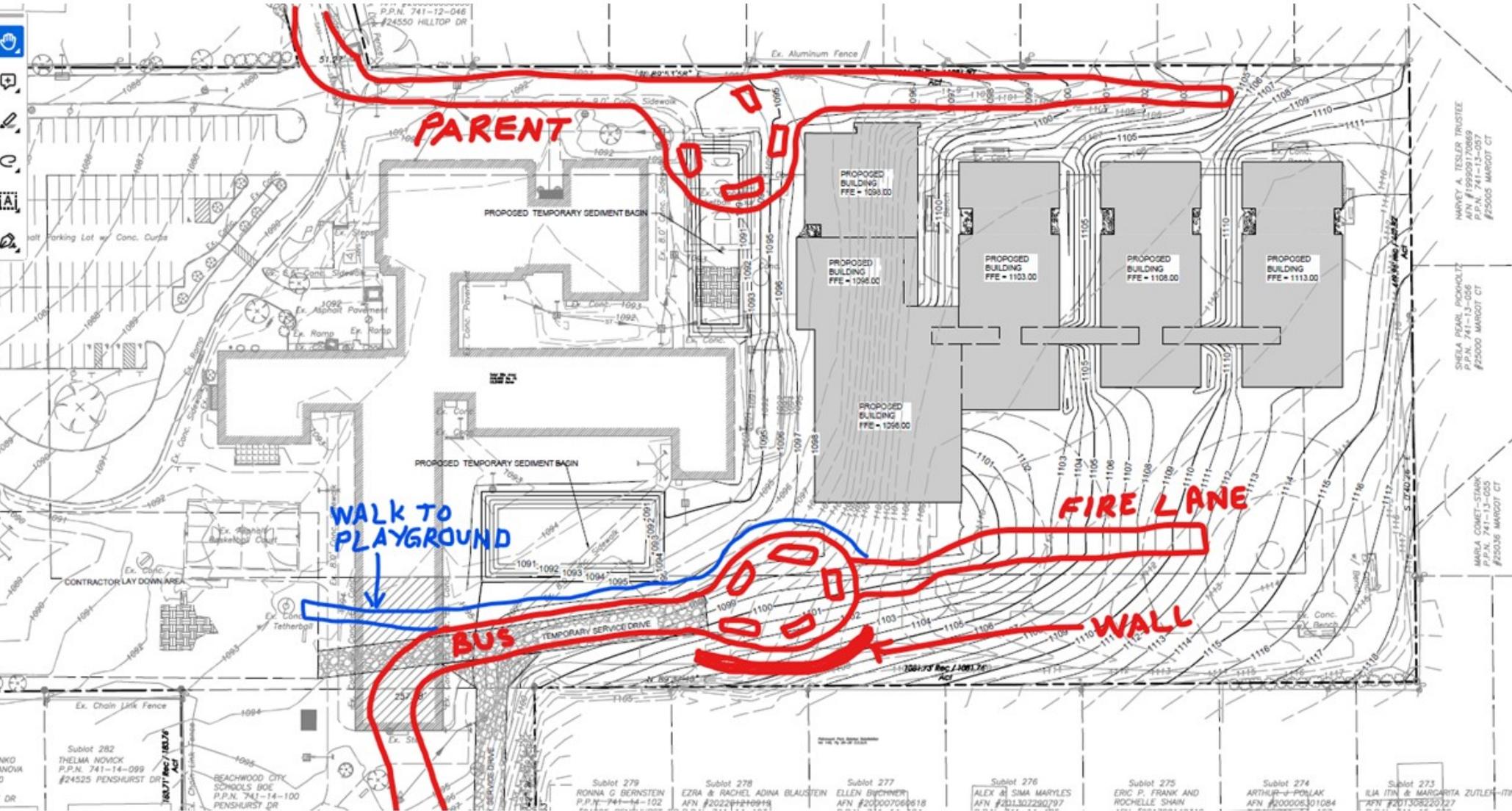
1. Fire lanes have been provided around the building as discussed at the P&Z meeting on January 18<sup>th</sup>, 2024. In addition, there was a second meeting held at the Beachwood School Board Offices on April, 16<sup>th</sup> where fire lanes were discussed with fire department officials and approved.
2. A new FDC connection is indicated at the location of the new water service vault near Hilltop Drive as discussed at the April 16<sup>th</sup>, 2024 meeting at the Beachwood School Board Offices.
3. Fire hydrants are located around the perimeter of the new building. The location of the fire hydrants were reviewed and approved by fire department officials at the April 16<sup>th</sup>, 2024 meeting at Beachwood School Board Offices.
4. No response required.

If you have any further questions, please contact me.

Sincerely,

Thorson • Baker + Associates, Inc.

David L. Myers, P.E. & P.S.  
Department Manager – Civil Engineering Department



# HILLTOP ELEMENTARY

24524 HILLTOP DRIVE  
BEACHWOOD, OH 44122

## PLANNING SUBMISSION

04/26/2024



### BEACHWOOD CITY SCHOOL DISTRICT

ROBERT HARDIS	SUPERINTENDENT	MEGAN WALSH	SCHOOL BOARD PRESIDENT
KEN VEON	ASSISTANT SUPERINTENDENT	JILLIAN DELONG	SCHOOL BOARD VICE PRESIDENT
MATTHEW BROWN	TREASURER	KIM ALLAMBY	SCHOOL BOARD
		DR. JOSEPHINE CHAN	SCHOOL BOARD
		WENDY LEATHERBERRY	SCHOOL BOARD



### PROJECT MANAGEMENT CONSULTANTS

STEVE ZANNONI	PROJECT MANAGER
DOUG MYERS	PROJECT SUPPORT



### HAMMOND CONSTRUCTION, INC.

BILL SHURMAN	PROJECT EXECUTIVE
--------------	-------------------



**VICINITY MAP**  
NOT TO SCALE



**SITE MAP**  
NOT TO SCALE

DRAWING LIST	
SHEET NUMBER	SHEET NAME
GENERAL	
CS1	COVER SHEET
SURVEY	
01	EXISTING CONDITIONS SURVEY
CIVIL INTERIM CONDITION	
CE3001	OVERALL PLAN
CE3100	EROSION CONTROL PLAN
CE3101	EROSION CONTROL PLAN
CE3200	SEWERAGE PLAN
CE3201	SEWERAGE PLAN
CE3300	GRADING PLAN
CE3400	UTILITY PLAN
CE3401	UTILITY PLAN
CE3402	UTILITY CORRIDOR DETAIL
CIVIL	
CB01	OVERALL PLAN
CB02	EROSION CONTROL PLAN
CB03	EROSION CONTROL PLAN
CB04	SEWERAGE PLAN
CB05	SEWERAGE PLAN
CB06	GRADING PLAN
CB07	UTILITY PLAN
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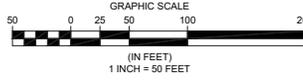
PARCEL CURVE TABLE						
CURVE	LENGTH	RADIUS	DELTA	CHORD	BEARING	TANGENT
C1	37.36'	20.00'	107°01'33"	32.16'	S36°22'52"W	27.04'
C4	72.92'	57.25'	72°58'27"	68.09'	N53°37'08"W	42.34'

SYMBOL LEGEND	
● Ex. Clean Out	○ Guy Wire
■ Ex. Catch Basin	⊕ Power Pole
▣ Prop. Catch Basin	⊕ Light Power Pole
▣ Ex. Curb Inlet	⊕ Light Pole
▣ Prop. Curb Inlet	⊕ Traffic Signal Pole
○ Ex. Yard Drain	⊕ Traffic Signal Box
○ Ex. Manhole	⊕ Cable TV Box
○ Ex. Sanitary Manhole	⊕ Electrical Box
○ Prop. Sanitary Manhole	⊕ Telephone (SAC) Box
○ Ex. Storm Manhole	⊕ Tree
○ Prop. Storm Manhole	⊕ Pine Tree
○ Storm Inlet MH	⊕ Bush
⊕ Ex. Water Valve	⊕ Yard Light
⊕ Prop. WL Valve	⊕ Gasline Marker
⊕ Water Meter	⊕ Power Transformer
⊕ Ex. Fire Hydrant	⊕ Irrigation Valve
⊕ Well	⊕ Sprinkler Control Box
⊕ Gas Valve	⊕ Sign
⊕ Gas Meter	⊕ Sprinkler Head
	⊕ Sign
	⊕ Test Bore
	⊕ Guard Post
	⊕ Stump
	⊕ Mailbox

**811** O.U.P.S. REFERENCE A-320-800-751  
 2 WORKING DAYS BEFORE YOU DIG CALL 8-1-1  
 OHIO UTILITIES PROTECTION SERVICE NON-MEMBERS MUST BE CALLED DIRECT

**EXISTING UNDERGROUND UTILITIES NOTE:**  
 THE SIZE AND LOCATION, BOTH HORIZONTAL AND VERTICAL OF THE UNDERGROUND UTILITIES SHOWN HEREON, HAVE BEEN OBTAINED BY A SEARCH OF AVAILABLE RECORDS. THE EXACT LOCATION OF UNDERGROUND FEATURES CANNOT BE ACCURATELY, COMPLETELY, AND RELIABLY DEPICTED HEREON. VERIFICATION BY FIELD OBSERVATION HAS BEEN CONDUCTED WHERE PRACTICAL. HOWEVER, POLARIS ENGINEERING & SURVEYING, INC. DOES NOT GUARANTEE THE COMPLETENESS NOR ACCURACY THEREOF.

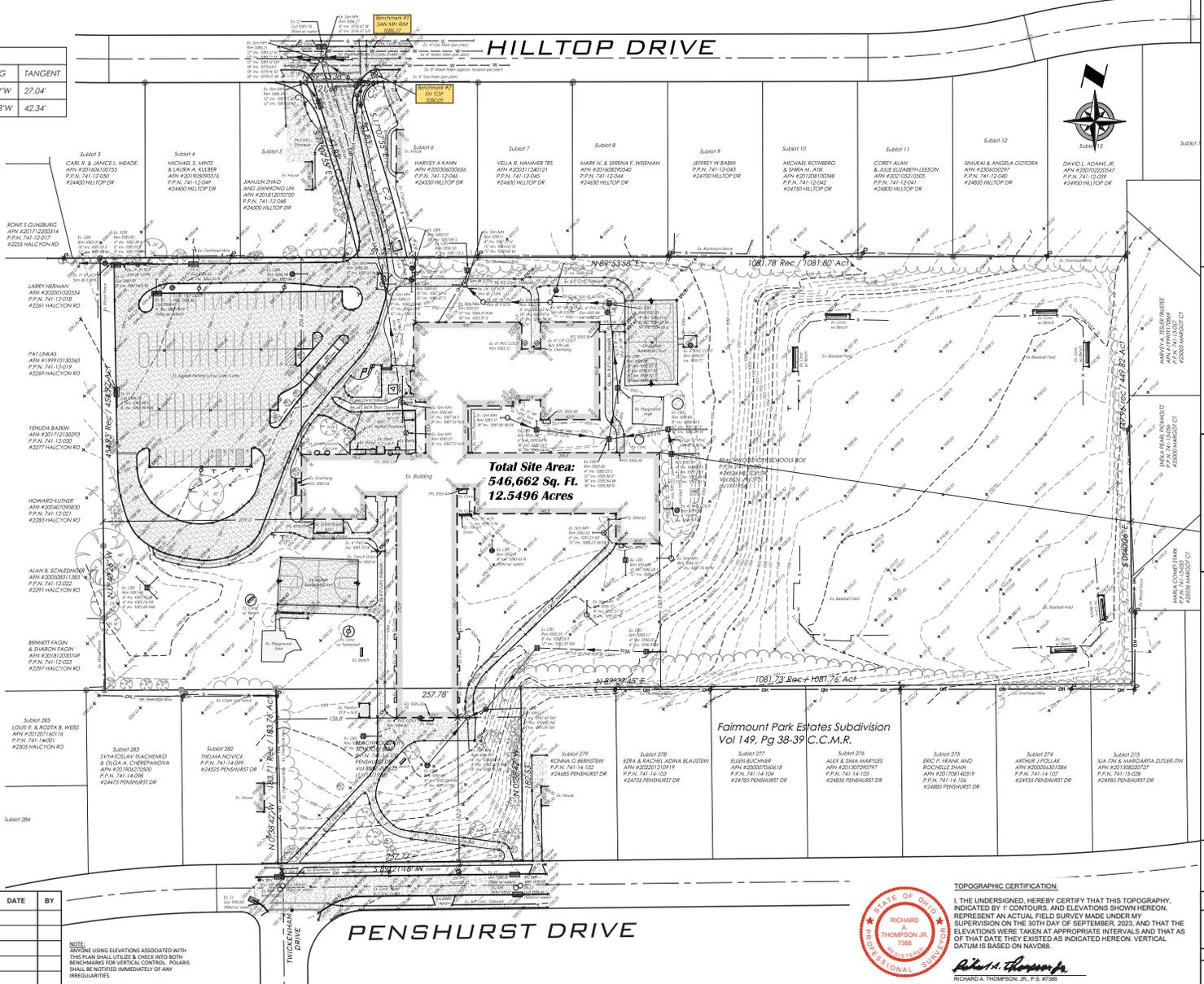
NOTE: THIS SURVEY SUBJECT TO CHANGE UPON RECEIPT OF ANY ADDITIONAL AVAILABLE UNDERGROUND UTILITY INFORMATION.



DATE: 10/10/23 DRAWN: SBB  
 SCALE: HOR. 1"=50' VERT. 1"=10'  
 FOLDER: DWG@Prol. Surveying  
 FILENAME: \_23144\_Survey\_Base  
 TAB: 01-Existing Conditions  
 BNDY. CHK: XXX-xxx/20xx  
 BASE. CHK: XXX-xxx/20xx

REV. NO.	DATE	BY

NOTE:  
 ANYONE USING ELEVATIONS ASSOCIATED WITH THIS PLAN SHALL UTILIZE & CHECK INTO BOTH BENCHMARKS FOR VERTICAL CONTROL. POLARIS SHALL BE NOTIFIED IMMEDIATELY OF ANY IRREGULARITIES.



Total Site Area:  
 546,662 Sq. Ft.  
 12.5496 Acres

Fairmount Park Estates Subdivision  
 Vol 149, Pg 38-39 C.C.M.R.



TOPOGRAPHIC CERTIFICATION:  
 I, THE UNDERSIGNED, HEREBY CERTIFY THAT THIS TOPOGRAPHY, INDICATED BY 1' CONTOURS, AND ELEVATIONS SHOWN HEREON, REPRESENT AN ACTUAL FIELD SURVEY MADE UNDER MY SUPERVISION ON THE 30TH DAY OF SEPTEMBER, 2023, AND THAT THE ELEVATIONS WERE TAKEN AT APPROPRIATE INTERVALS AND THAT AS OF THAT DATE THEY EXISTED AS INDICATED HEREON. VERTICAL DATUM IS BASED ON NAVD83.

Richard A. Thompson, Jr.  
 RICHARD A. THOMPSON, JR., P.S. #7388

**24524 HILLTOP DRIVE**

CITY OF BEACHWOOD - CUYAHOGA COUNTY - OHIO

POLARIS ENGINEERING & SURVEYING, INC.  
 34600 CHARBON ROAD - SUITE D  
 HILLTOP DR. HILLS, OHIO 44130  
 www.polaris-es.com

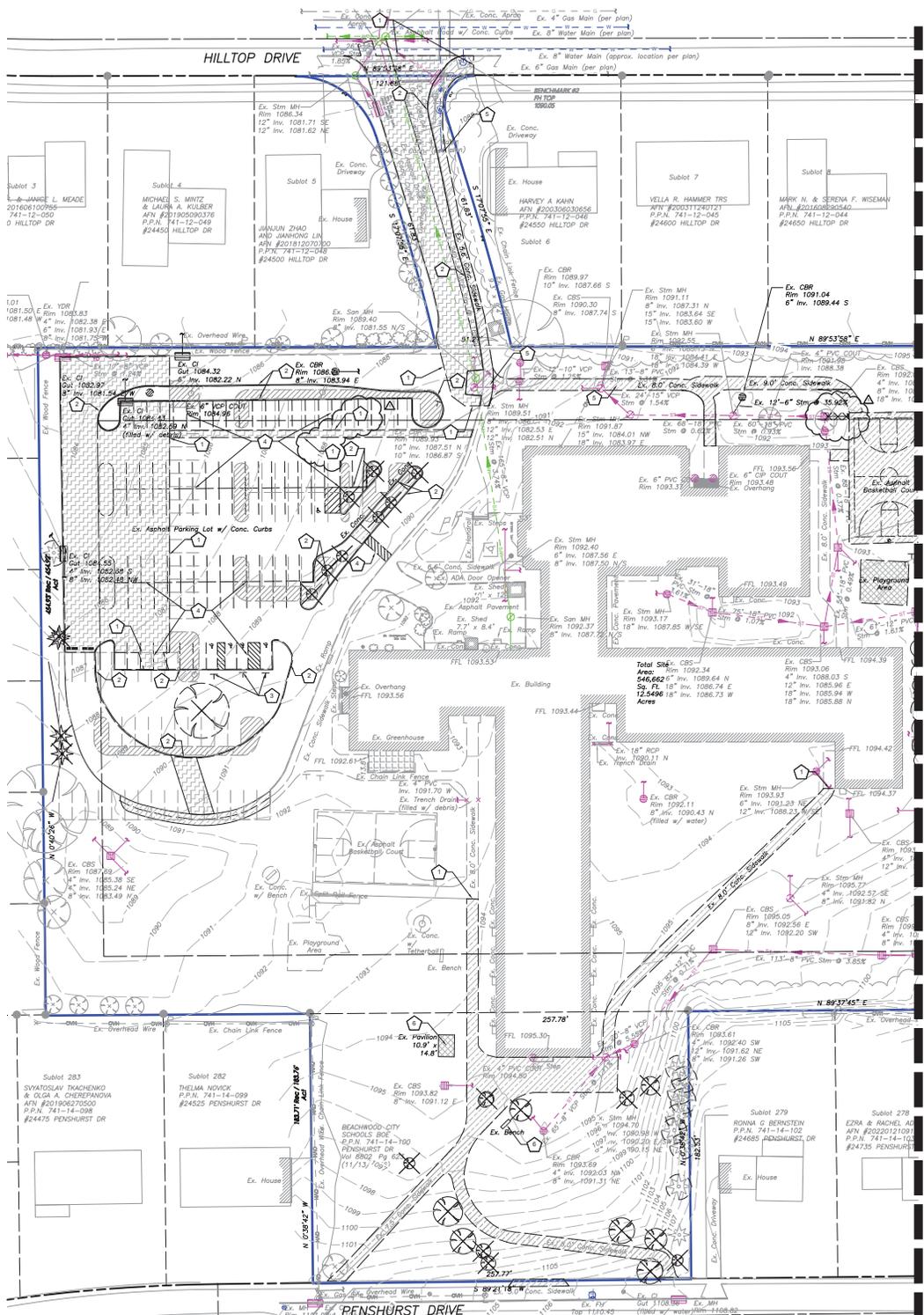
**EXISTING CONDITIONS**

PREPARED FOR:  
 BEACHWOOD CITY SCHOOLS  
 2481 FAIRMOUNT RD.  
 BEACHWOOD, OHIO  
 PHONE: (440) 412-1748  
 CONTACT: KEN WOOD

CONTRACT NO.  
**23144**

SHEET	OF
01	01





MATCH LINE. SEE SHEET CES101

**LEGEND**

- UTILITY TO BE REMOVED
- AREA TO BE DEMOLISHED
- ASPHALT & BASE TO BE REMOVED
- CONCRETE TO BE REMOVED
- AGGREGATE TO BE REMOVED
- TREE PROTECTION FENCE ORANGE PVC CONSTRUCTION FENCE
- TREE TO BE REMOVED BY CONTRACTOR

**KEY NOTES**

- PROPOSED SAW CUT
- REMOVE CONCRETE CURB PER ODOT ITEM 202
- REMOVE SIGN PER ODOT ITEM 202
- REMOVE STRIPING PER ODOT ITEM 614.11 g.1.a
- REMOVE CONCRETE SIDEWALK CURB FOR UTILITY TRENCH PER ODOT ITEM 202
- SALVAGE EXISTING STRUCTURE AND PROVIDE TO OWNER FOR FUTURE USE.

PROGRESS NOT FOR CONSTRUCTION  
 4/19/24  
**tda**  
 the design architecture

HILLTOP ELEMENTARY SCHOOL  
 BEACHWOOD CITY SCHOOL DISTRICT  
 24524 HILLTOP DRIVE  
 BEACHWOOD, OH 44122

NO.	DATE	DESCRIPTION	BY	CHKD.
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**DEMOLITION PLAN**



**TBA**  
 Thorson-Baker Associates  
 3030 West Broadview Road  
 Beachwood, Ohio 44122  
 (330) 659-6668 Fax  
 (330) 659-6673 Fax



**DEMOLITION PLAN**

Date: TBA  
 Title: TBA  
 Sheet Number: TBA  
**CES100**  
 Scale: 1" = 30'-0"  
 Date: 04/22/24

PROGRESS NOT FOR CONSTRUCTION 4/12/24



HILLTOP ELEMENTARY SCHOOL  
 BEACHWOOD CITY SCHOOL DISTRICT  
 24524 HILLTOP DRIVE  
 BEACHWOOD, OH 44122

NO	DATE	DESCRIPTION	DATE
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48	04/22/24	REVISION	04/22/24
49	04/22/24	REVISION	04/22/24
50	04/22/24	REVISION	04/22/24

**LEGEND**

- HT CHAIN LINK CONSTRUCTION FENCE CONTRACTOR TO DETERMINE FINAL LOCATION OF FENCE AND GATES
- UTILITY TO BE REMOVED
- AREA TO BE DEMOLISHED
- TREE PROTECTION 4' HT. ORANGE PVC CONSTRUCTION FENCE
- TREE TO BE REMOVED BY CONTRACTOR

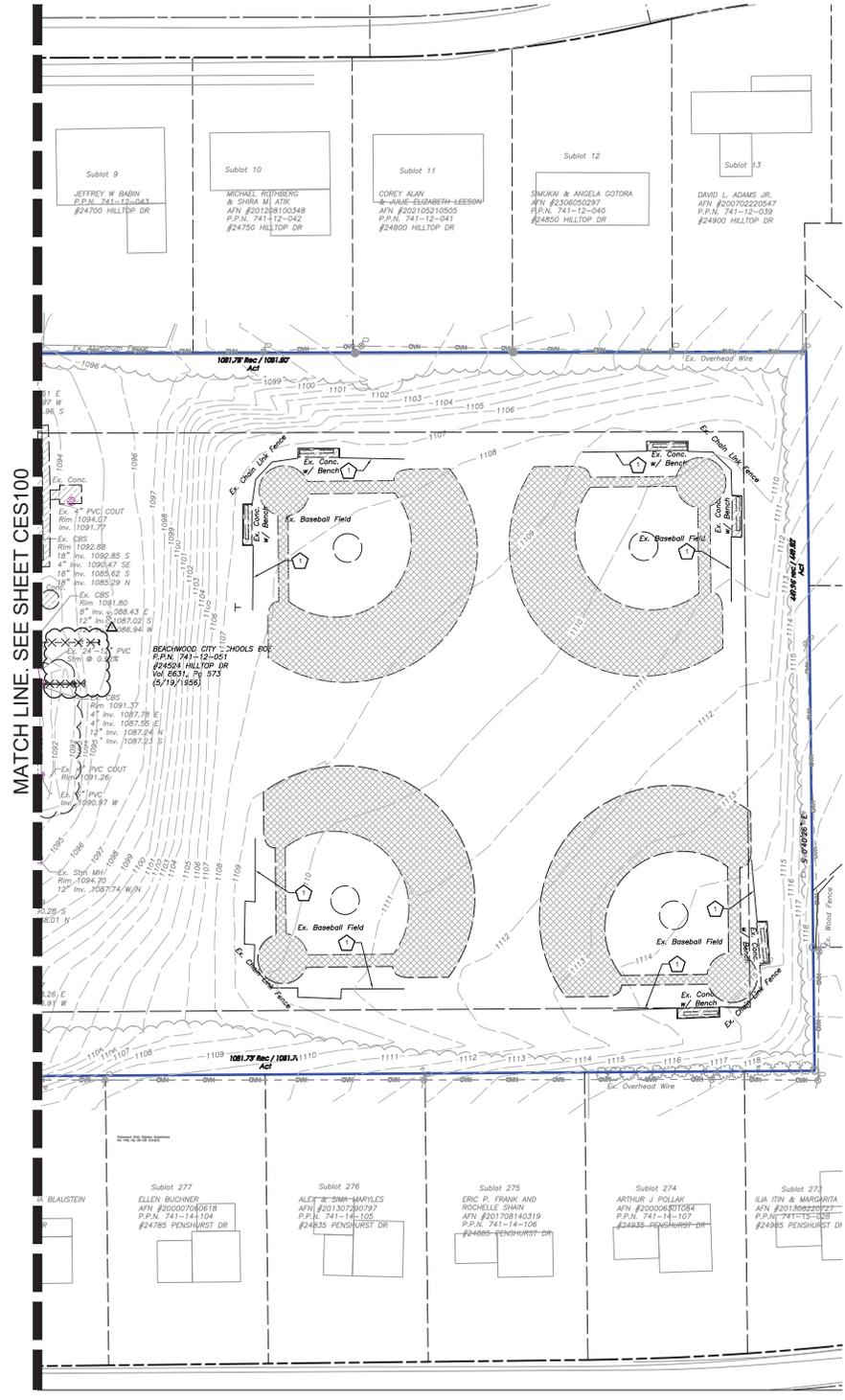
**KEY NOTES**

- REMOVE FENCE PER ODOT ITEM 202.

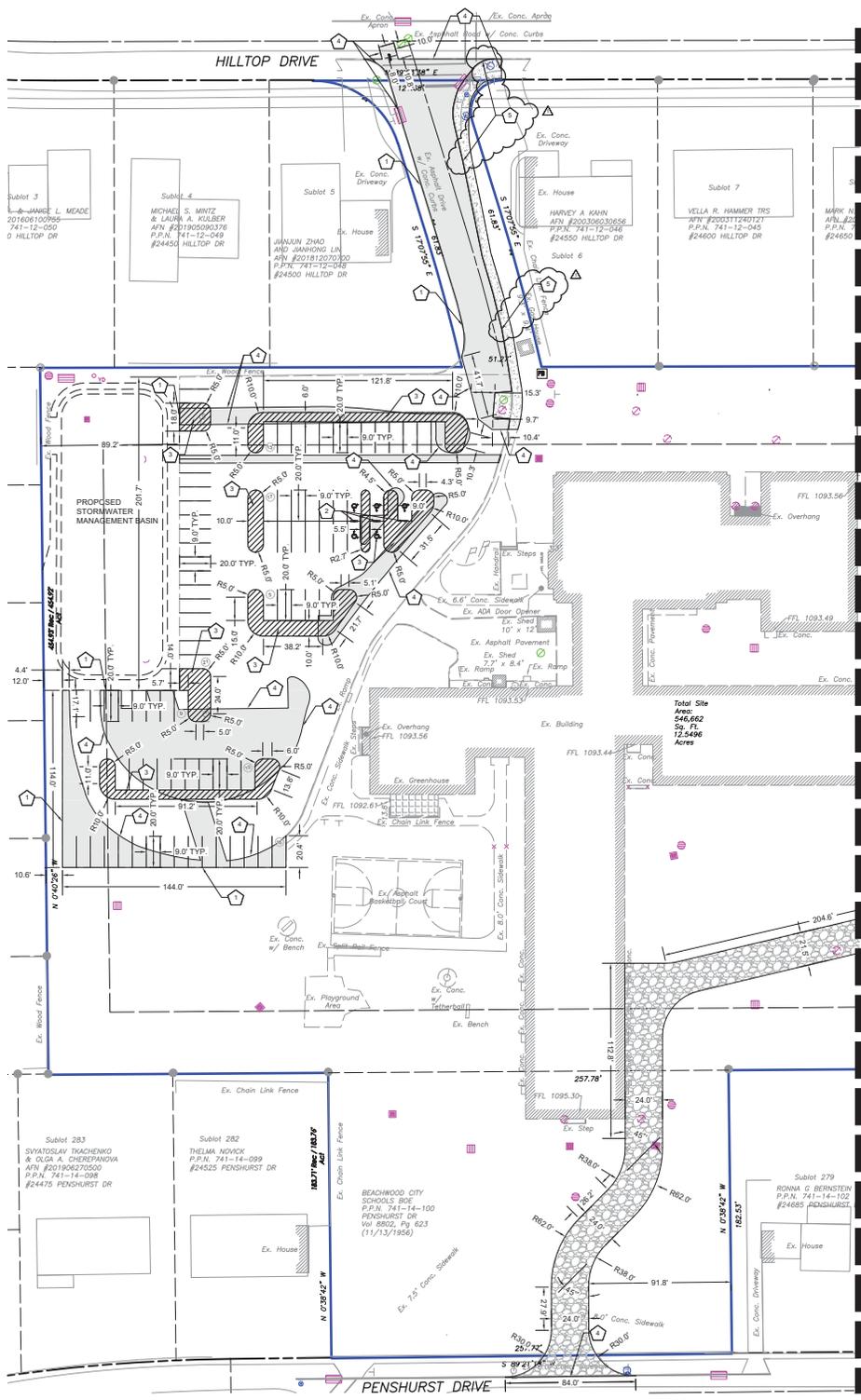
**DEMOLITION PLAN**

**TBA**  
 Thorson-Baker Associates  
 3333 West Schrock Road  
 Columbus, Ohio 43221  
 (614) 693-6933  
 (614) 693-6973 Fax

**Call 811**  
 before you dig  
 Ohio 811 Service  
 before you dig



MATCH LINE - SEE SHEET CES100



MATCH LINE: SEE SHEET CES201

**LEGEND**

- PROPOSED STANDARD DUTY ASPHALT PAVEMENT. SEE DETAILS AND SPECIFICATIONS ON SHEET CES600.
- PROPOSED SIDEWALK CONCRETE PAVEMENT. SEE DETAILS AND SPECIFICATIONS ON SHEET CES600.
- PROPOSED AGGREGATE. SEE DETAILS AND SPECIFICATIONS ON SHEET CES702.

**KEY NOTES**

- 1 FURNISH AND INSTALL ASPHALT EDGE. SEE DETAIL ON SHEET CES600.
- 2 FURNISH AND INSTALL ADA PARKING SIGN PER CDOT ITEM 630 AND THE OHIO MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES.
- 3 FURNISH AND INSTALL PAVEMENT MARKING/STRIPE PER CDOT ITEM 642 AND THE OHIO MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES.
- 4 MEET AND MATCH EXISTING PAVEMENT.
- 5 FURNISH AND INSTALL INTEGRAL CONCRETE CURB & WALK. SEE DETAIL AND SPECIFICATIONS ON SHEET CES702 - DETAILS.

**SITE DATA**

ADDRESS: 24524 HILLTOP DR, BEACHWOOD, OH 44122  
 ZONING DISTRICT: U-6 PUBLIC AND INSTITUTIONAL  
 SITE AREA: 12.55 Ac.  
 CURRENT USE: U-5 PUBLIC AND INSTITUTIONAL  
 PROPOSED USE: U-5 PUBLIC AND INSTITUTIONAL

	REQUIRED	PROVIDED
MAX. BUILDING HEIGHT	40'	26'
MIN. STREET FRONTAGE	200'	51'
FRONT YARD BLDG. SETBACK	50'	51'
SIDE YARD BLDG. SETBACK	40'	40'
REAR YARD BLDG. SETBACK	40'	130'
SIDE YARD PARKING SETBACK	10'	11'
REAR YARD PARKING SETBACK	10'	130'
MAX. BUILDING COVERAGE	25%	12%
MIN. PLANTED AREA COVERAGE	25%	62%
PARKING SPACES	-	91
HANDICAP PARKING (1 PER 25 SPACES)	-	3
PARKING SPACE SIZE	180 SF	180 SF
DRIVE AISLE	24'	24'

Total Site Area: 646,622 Sq. Ft. 12.5496 Acres

**GEOMETRIC PLAN**  
17-202



**TBA**  
Thorson-Baker Associates  
3030 West Steelesburg Road  
Rochester, Ohio 44086  
(330) 659-6668 Fax  
(330) 659-6675 Fax

Ohio Pollution Prevention Service  
**Call or Text**  
before you dig

NO.	REVISION	DATE
1	ISSUED FOR PERMITS	04/12/24
2	REVISED PER COMMENTS	04/12/24
3	REVISED PER COMMENTS	04/12/24
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**GEOMETRIC PLAN**

Scale: 1" = 30'

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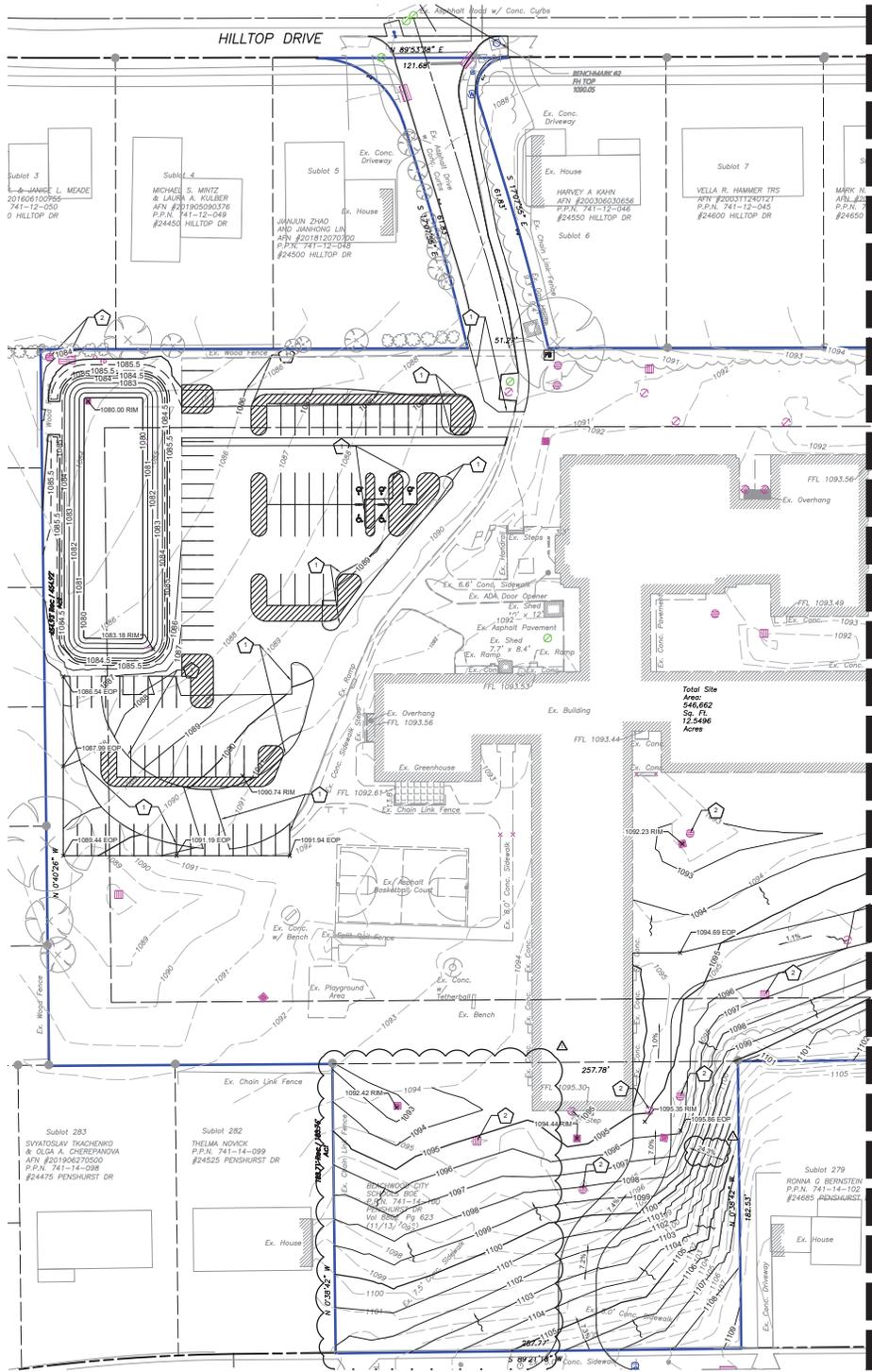
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**CES200**

04/12/24

20004





MATCH LINE: SEE SHEET CES301

- LEGEND**
- EXISTING CONTOURS
  - PROPOSED CONTOURS
  - PROPOSED SPOT ELEVATIONS
  - DRAINAGE FLOW ARROW

- KEY NOTES**
- 1 MEET AND MATCH EXISTING PAVEMENT
  - 2 RAISE EXISTING STRUCTURES TO MATCH PROPOSED GRADE.

**PROGRESS NOT FOR CONSTRUCTION**  
4/12/24

HILLTOP ELEMENTARY SCHOOL  
BEACHWOOD CITY SCHOOL DISTRICT  
24524 HILLTOP DRIVE  
BEACHWOOD, OH 44122

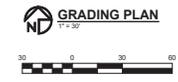
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Project Name: **GRADING PLAN**

Scale: 1" = 30'

Sheet No: **CES300**

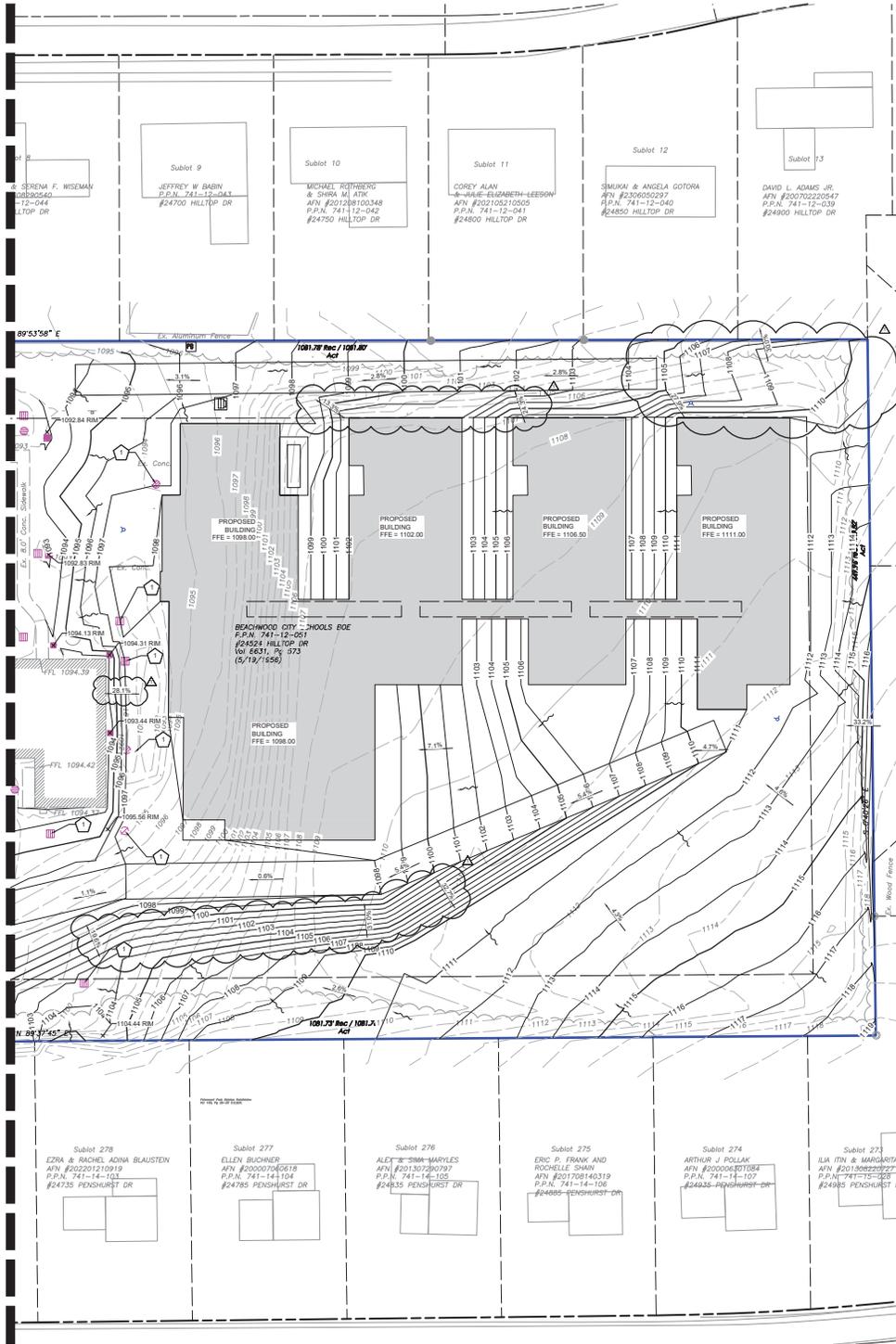
Revision: 20054



**TBA**  
Thorson-Baker Associates  
3333 Shawneeblvd Road  
Houston, Ohio 44122  
(330) 658-6684 Ph.  
(330) 658-6675 Fax



MATCH LINE. SEE SHEET CES300



- LEGEND**
- EXISTING CONTOURS
  - PROPOSED CONTOURS
  - 1051  
1050 PROPOSED SPOT ELEVATIONS
  - 1050.00 PROPOSED SPOT ELEVATIONS
  - DRAINAGE FLOW ARROW
- KEY NOTES**
- 1 RAISE EXISTING STRUCTURES TO MATCH PROPOSED GRADE.

**PROGRESS NOT FOR CONSTRUCTION 4/12/24**

**tda**  
thendesign architecture

HILLTOP ELEMENTARY SCHOOL  
BEACHWOOD CITY SCHOOL DISTRICT  
24524 HILLTOP DRIVE  
BEACHWOOD, OH 44122

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**GRADING PLAN**

Scale: 30 0 30 60

**Thorson-Baker Associates**  
3333 Shawnee Meadows Road  
Woodward, Ohio 44221 (330) 693-6983 Ph. (330) 693-6973 Fax

**Call 811**  
before you dig

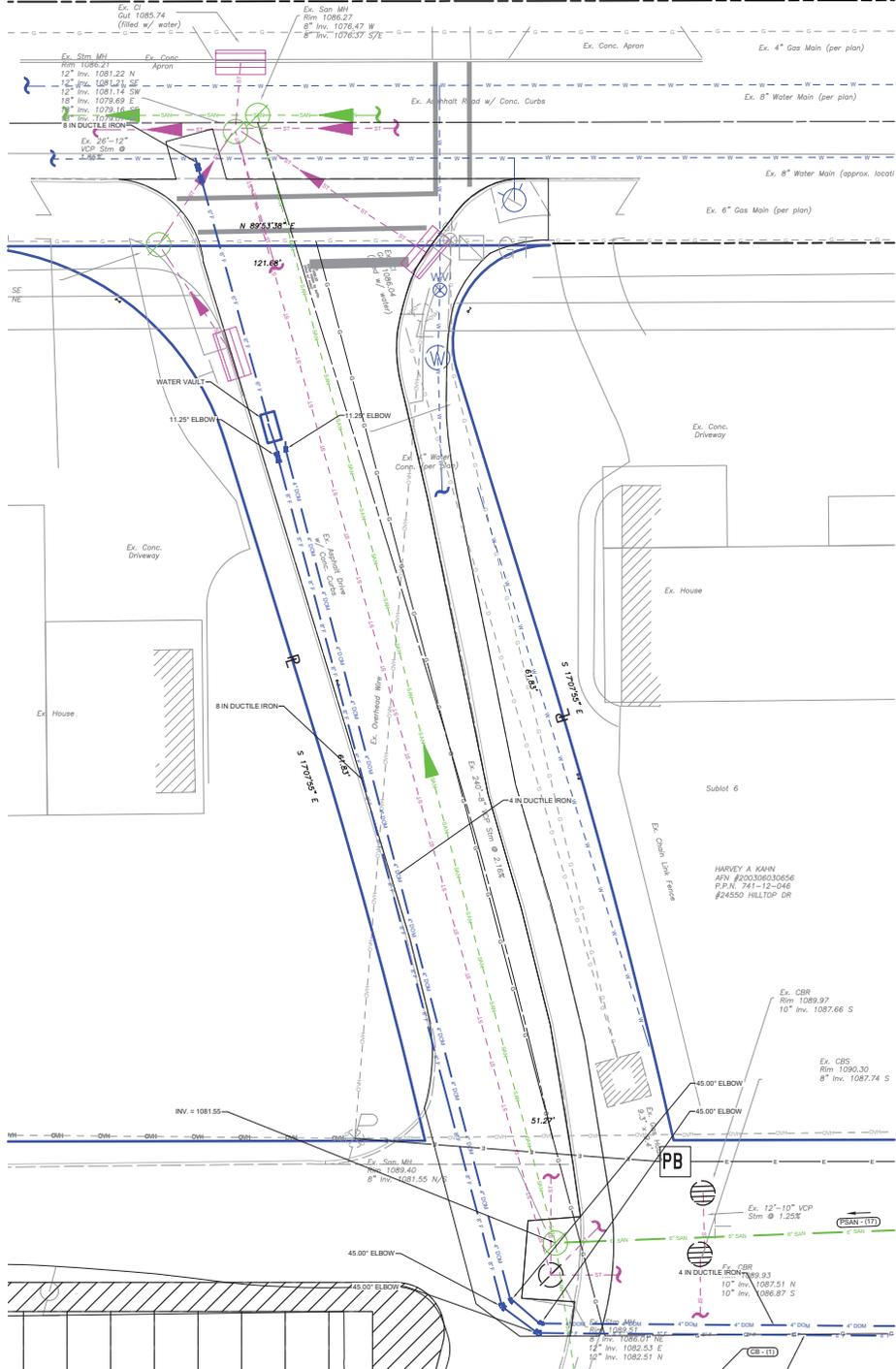
**CES301**  
20054





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- LEGEND**
- EXISTING GAS
  - EXISTING OVERHEAD LINE
  - EXISTING SANITARY
  - EXISTING STORM
  - EXISTING WATER
  - PROPOSED GAS, SHOWN FOR HORIZONTAL ROUTING. REFERENCE ONLY. DETAILS AND SPECIFICATIONS PER GAS COMPANY REQUIREMENTS.
  - PROPOSED SANITARY
  - PROPOSED STORM
  - PROPOSED FIRE LINE. SEE DETAILS AND SPECIFICATIONS ON SHEET CES601.
  - PROPOSED DOMESTIC LINE. SEE DETAILS AND SPECIFICATIONS ON SHEET CES601.
  - PROPOSED GAS METER, SHOWN FOR REFERENCE ONLY. FINAL LOCATION, DETAILS AND SPECIFICATIONS TO BE DETERMINED BY GAS COMPANY.
  - PROPOSED CATCH BASIN (CB) CURB INLET (CI). SEE SHEET CES600 FOR DETAILS AND SPECIFICATIONS.
  - PROPOSED CLEANOUT (CO). SEE SHEET CES602 FOR DETAILS AND SPECIFICATIONS.

UTILITY CORRIDOR DETAIL  
3'-0" = 1"



**TBA**  
Thorson-Baker Associates  
3030 West Broadhurst Road  
Beachwood, Ohio 44122

**Call on**  
before you dig  
Ohio's Official Protection Service

**UTILITY CORRIDOR DETAIL**  
Sheet No. CES402  
20054































**SEDIMENT POLLUTANT CONTROLS (GENERAL NOTES)**

- PERMETER SEDIMENT CONTROLS (I.E. SEDIMENT TRAPS, SILT FENCE, COMPOST SOCKS, COMPOST BERMS, ETC.) SHALL BE IMPLEMENTED AS THE FIRST STEP OF GRADING AND WITHIN SEVEN DAYS FROM THE START OF GRUBBING AND SHALL CONTINUE TO FUNCTION UNTIL UPLOPES ARE DRAINING TO THEM ARE PERMANENTLY STABILIZED, OR AS DIRECTED BY THE JURISDICTIONAL ENGINEER, OR DESIGNATED REPRESENTATIVE.
- NO EROSION AND SEDIMENT CONTROL BMP'S SHALL BE REMOVED FROM THE SITE PRIOR TO ADEQUATE PERMANENT STABILIZATION OF THE ASSOCIATED UPLOPES AND DRAINAGE AREAS AND WITHOUT FIRST OBTAINING AUTHORIZATION FROM THE JURISDICTIONAL ENGINEER, OR DESIGNATED REPRESENTATIVE. UNLESS THEIR REMOVAL IS SPECIFICALLY PROVIDED FOR WITHIN THE SITE'S APPROVED PLAN.
- THERE SHALL BE NO SEDIMENT-LADEN OR TURBID DISCHARGES TO WATER RESOURCES OR WETLANDS RESULTING FROM DEWATERING ACTIVITIES. IF FRENCH OR GROUNDWATER CONTAINS SEDIMENT, IT MUST PASS THROUGH A SEDIMENT TRAP OR OTHER EQUALLY EFFECTIVE SEDIMENT CONTROL DEVICE PRIOR TO BEING DISCHARGED FROM THE CONSTRUCTION SITE. ALTERNATIVELY, SEDIMENT MAY BE REMOVED BY SETTLING IN PLACE OR BY DEWATERING INTO A SUMP P/TI, FILTER BAG OR COMPARABLE PRACTICE. GROUND WATER DEWATERING WHICH DOES NOT CONTAIN SEDIMENT OR OTHER POLLUTANTS IS NOT REQUIRED TO BE TREATED PRIOR TO DISCHARGE. HOWEVER, CARE MUST BE TAKEN WHEN DISCHARGING GROUND WATER TO ENSURE THAT IT DOES NOT BECOME POLLUTANT-LADEN BY TRAVERSING OVER DISTURBED SOILS OR OTHER POLLUTANT SOURCES.
- STREETS DIRECTLY ADJACENT TO CONSTRUCTION ENTRANCES AND RECEIVING TRAFFIC FROM THE DEVELOPMENT AREA, SHALL BE CLEANED DAILY TO REMOVE SEDIMENT TRACKED OFF-SITE. IF APPLICABLE, THE CATCH BASINS ON THESE STREETS NEAREST TO THE CONSTRUCTION ENTRANCES SHALL ALSO BE CLEANED WEEKLY BASED ON SITE CONDITIONS. THE JURISDICTIONAL ENGINEER, OR HIS DESIGNATED REPRESENTATIVE, MAY REQUIRE ADDITIONAL BEST MANAGEMENT PRACTICES TO CONTROL OFF-SITE TRACKING OF DUST.
- IT SHALL BE THE RESPONSIBILITY OF THE DEVELOPER, OR REPRESENTATIVE, TO PROVIDE INSPECTION OF ALL EROSION CONTROL MEASURES IDENTIFIED IN THE SWPP AFTER ANY STORM EVENT GREATER THAN ONE-HALF INCH OF RAIN PER 24 HOUR PERIOD BY THE END OF THE FOLLOWING CALENDAR DAY. EXCLUDING WEATHER CONDITIONS THAT PREVENT WORK IS SCHEDULED, AND ONCE EVERY SEVEN CALENDAR DAYS WHEN INSPECTIONS REVEAL THE NEED FOR REPAIR, REPLACEMENT, OR INSTALLATION OF ADDITIONAL EROSION AND SEDIMENT CONTROL BMP'S. THE FOLLOWING PROCEDURES SHALL BE FOLLOWED:
  - WHEN PRACTICES DEFECTED IN THE SWPPS ARE NOT INSTALLED, THE BMP SHALL BE REPAIRED WITHIN 4 DAYS OF INSPECTION. EXCEPTION: SEDIMENT PONDS SHALL BE REPAIRED OR MAINTAINED WITH 10 DAYS OF INSPECTION.
  - WHEN PRACTICES FAIL TO PROVIDE THEIR INTENDED FUNCTION: A MORE APPROPRIATE BMP SHALL BE SELECTED AND IMPLEMENTED WITHIN 10 DAYS OF THE INSPECTION.
  - WHEN PRACTICES DEFECTED IN THE SWPPS ARE NOT INSTALLED, THE BMP SHALL BE INSTALLED WITHIN 10 DAYS OF THE INSPECTION. IF THE INSPECTION REVEALS THAT THE BMP IS NOT NECESSARY, THE RECORD MUST CONTAIN AN EXPLANATION FOR THE DECISION.

INSPECTION MUST BE COMPLETED BY A CERTIFIED PROFESSIONAL EROSION CONTROL (CPEC) OR CERTIFIED EROSION SEDIMENT CONTROL (CESC) ENGINEER. THE CEC SHALL BE RESPONSIBLE FOR THE DESIGN OF THE SWPP AND SHALL BE RESPONSIBLE FOR THE MONTHLY INSPECTIONS. AFTER EVERY INSPECTION, A SIGNED CHECKLIST SHALL BE PROVIDED BY THE INSPECTOR.

- THE APPLICANT SHALL MAINTAIN FOR 3 YEARS FOLLOWING FINAL STABILIZATION, THE RESULTS OF THESE INSPECTIONS, THE NAMES AND QUALIFICATIONS OF PERSONNEL MAKING THE INSPECTIONS, THE DATES OF INSPECTIONS, MAJOR OBSERVATIONS RELATING TO THE IMPLEMENTATION OF THE SWPP, A CERTIFICATION AS TO WHETHER THE FACILITY IS IN COMPLIANCE WITH THE SWPP, AND INFORMATION ON ANY INCIDENTS OF NON-COMPLIANCE DETERMINED BY THESE INSPECTIONS.
- ALL EROSION AND SEDIMENT CONTROL PRACTICES SPECIFIED ON THIS PLAN SHALL CONFORM WITH THE DETAILS AND SPECIFICATIONS OUTLINED IN THE CURRENT VERSION OF THE OHIO DEPARTMENT OF NATURAL RESOURCES' WETLANDS AND DEVELOPMENT MANUAL, OR AS SPECIFIED BY THE JURISDICTIONAL ENGINEER, OR DESIGNATED REPRESENTATIVE.

8. EROSION AND SEDIMENT CONTROL PRACTICES NOT ALREADY SPECIFIED ON THIS PLAN MAY BE NECESSARY DUE TO UNFORESEEN ENVIRONMENTAL CONDITIONS AND/OR CHANGES IN DRAINAGE PATTERNS CAUSED BY EARTH-MOVING ACTIVITY. ADDITIONAL PRACTICES SHALL BE IMPLEMENTED AT THE DEVELOPER'S EXPENSE AS DIRECTED BY THE JURISDICTIONAL ENGINEER, OR DESIGNATED REPRESENTATIVE.

9. NO STRUCTURAL SEDIMENT CONTROLS (SILT FENCE, SEDIMENT TRAPS, ETC.) SHALL BE USED IN A WATER RESOURCE OR WETLAND, UNLESS THEIR USE IS SPECIFICALLY PROVIDED FOR WITHIN THE SITE'S APPROVED PLAN.

10. SOIL STOCKPILES, TOPSOIL OR OTHERWISE, SHALL BE SITUATED AWAY FROM STREETS, SHOULDS, OR OTHER WATERWAYS AND SHALL BE SEEDED AND/OR MULCHED IMMEDIATELY.

11. ON-SITE PERSONNEL SHALL TAKE ALL NECESSARY MEASURES TO COMPLY WITH APPLICABLE REGULATIONS REGARDING FUGITIVE DUST EMISSIONS INCLUDING OBTAINING NECESSARY PERMITS FOR SUCH EMISSIONS. THE JURISDICTIONAL ENGINEER, OR DESIGNATED REPRESENTATIVE, MAY REQUIRE DUST CONTROL INCLUDING, BUT NOT LIMITED TO, THE USE OF WATER TRUCKS TO WET DISTURBED AREAS, TAPPING STOCKPILES, TEMPORARY STABILIZATION OF DISTURBED AREAS, AND REGULATION OF THE SPEED OF VEHICLES ON THE SITE.

12. ANY DISTURBED AREA NOT PAVED, SOODED, OR BUILT UPON SHALL HAVE A MINIMUM OF 80% UNLINED VEGETATIVE COVER PRIOR TO FINAL INSPECTION AND IN THE OPINION OF THE JURISDICTIONAL ENGINEER OR DESIGNATED REPRESENTATIVE WILL BE MAINTAINED ENOUGH TO CONTROL EROSION SATISFACTORILY AND SURVIVE SEVERE WEATHER.

13. THE PROJECT IS SUBJECT TO THE CONDITIONS OF ARMY CORPS OF ENGINEER PERMIT NUMBER 2020-24. SPECIAL CONDITIONS INCLUDE:

- THE PROJECT SITE LIES WITHIN RANGE OF THE INDIANA BAT, A FEDERALLY LISTED ENDANGERED SPECIES, AND THE NORTHERN LONGEARED BAT, A FEDERALLY LISTED THREATENED SPECIES. HABITAT INCLUDES FORESTS AND WOODLOTS CONTAINING POTENTIAL ROOSTS (I.E. LIVE TREES, LIMB CAVES, SNAGS GREATER THAN OR EQUAL TO 3-8" DBH AS WELL AS FENCIBLES, RIPARIAN FORESTS, AND OTHER WOODED CORRIDORS). WOODED AREAS WITH OR WITHOUT AGGREGATES OF TREES WITH VARIABLE AMOUNTS OF CANOPY COVERAGE. INDIVIDUAL TREES MAY BE CONSIDERED POTENTIAL ROOSTS THAT EXHIBIT CHARACTERISTICS OF A POTENTIAL ROOST TREE AND ARE LOCATED WITHIN 100' OF OTHER POTENTIAL ROOSTS. HIGHLIGHTS THAT THE CONTRACTOR IS TO PRESERVE WOODED/CRESTED HABITATS EXHIBITING ANY OF THE CHARACTERISTICS LISTED ABOVE WHEREVER POSSIBLE. SHOULD SUITABLE HABITAT BE PRESENT THAT CANNOT BE AVOIDED DURING CONSTRUCTION ACTIVITIES, ANY TREES GREATER THAN OR EQUAL TO 3-IN DBH WILL ONLY BE CUT BETWEEN OCTOBER 1 AND MARCH 31.

14. PROTECTIVE FENCING - IS CORPS OF ENGINEERS IS REQUIRING THAT HIGH VISIBILITY PROTECTIVE FENCING BE INSTALLED ALONG THE STUDY AREA BOUNDARY OF WETLAND A PRIOR TO THE START OF CONSTRUCTION TO KEEP THE CONTRACTOR FROM IMPACTING ADDITIONAL AREA OF WETLAND A.

15. CONSULT WITH THE PROJECT ENGINEER PRIOR TO ANY CHANGES TO THE APPROVED PLAN. CHANGES MUST BE CONVEYED TO AND APPROVED BY VALUE ZONING AND CUYAHOGA COUNTY SWCD PRIOR TO WORK.

16. SPILL AND BORROW ACTIVITY WILL TRIGGER A REVISION OF THE SWPP TO BE SUBMITTED TO VALUE ZONING AND CUYAHOGA COUNTY SWCD. SUCH ACTIVITY WILL NOT BE PERMITTED UNTIL REVISION IS RECEIVED/ APPROVED.

**NON-SEDIMENT POLLUTANT CONTROLS (GENERAL NOTES)**

- ALL SANITARY WASTE SHALL BE COLLECTED FROM PORTABLE UNITS A MINIMUM OF THREE TIMES PER WEEK BY A LICENSED SANITARY WASTE MANAGEMENT CONTRACTOR, AS REQUIRED BY LOCAL REGULATION.
- THE FOLLOWING GOOD HOUSEKEEPING PRACTICES WILL BE FOLLOWED ON SITE DURING THE CONSTRUCTION PROJECT:
  - AN EFFORT WILL BE MADE TO STORE ONLY ENOUGH PRODUCT REQUIRED TO DO THE JOB.
  - ALL MATERIALS STORED ON SITE WILL BE STORED IN A NEAT, ORDERLY MANNER, IN THEIR APPROPRIATE CONTAINERS, AND IF POSSIBLE, UNDER A ROOF OR OTHER ENCLOSURE.
  - PRODUCTS WILL BE KEPT IN THEIR ORIGINAL CONTAINERS WITH THE MANUFACTURER'S LABEL. SUBSTANCES WILL NOT BE MIXED WITH ONE ANOTHER UNLESS RECOMMENDED BY THE MANUFACTURER.
  - WHENEVER POSSIBLE, ALL OF A PRODUCT WILL BE USED UP BEFORE DISPOSING OF THE CONTAINER.
  - THE MANUFACTURER'S RECOMMENDATIONS FOR PROPER USE AND DISPOSAL WILL BE FOLLOWED.
  - THE SITE SUPERINTENDENT WILL INSPECT DAILY TO ENSURE PROPER USE AND DISPOSAL OF MATERIALS ON SITE.

- IN ADDITION TO PREVIOUS NOTES, THE FOLLOWING PRACTICES WILL BE FOLLOWED FOR SPILL PREVENTION AND CLEANUP:
  - CONTRACTOR MUST CONTACT OHIO EPA AT 1-800-285-9378, THE LOCAL FIRE DEPARTMENT, AND THE LOCAL EMERGENCY PLANNING COMMITTEE (LEPC) WITHIN 30 MINUTES OF A SPILL 25 GALLONS OR GREATER.
  - MANUFACTURER'S RECOMMENDED METHODS FOR SPILL CLEANUP WILL BE POSTED AND SITE PERSONNEL MADE AWARE OF THE PROCEDURES AND THE LOCATION OF INFORMATION AND CLEANUP SUPPLIES.
  - MATERIALS AND EQUIPMENT NECESSARY FOR SPILL CLEANUP WILL BE KEPT IN THE MATERIAL STORAGE AREA ON SITE. EQUIPMENT AND MATERIALS WILL INCLUDE, BUT NOT LIMITED TO, BROOMS, DUSTPANS, MOPS, RAGS, GLOVES, COFFERS, CAT LITTER, SAND, SAWDUST, AND PLASTIC AND METAL TRASH CONTAINERS SPECIFICALLY DESIGNATED FOR THIS PURPOSE.
  - ALL SPILLS WILL BE CLEANED UP IMMEDIATELY AFTER DISCOVERY.
  - THE SPILL AREA WILL BE KEPT WELL-VENTILATED AND PERSONNEL WILL WEAR APPROPRIATE PROTECTIVE CLOTHING TO PREVENT INJURY FROM CONTACT WITH A HAZARDOUS SUBSTANCE.
  - SPILLS OF TOXIC OR HAZARDOUS MATERIALS WILL BE REPORTED TO THE APPROPRIATE STATE OR LOCAL GOVERNMENT AGENCY, REGARDLESS OF SIZE.

- THE SPILL PREVENTION PLAN WILL BE ADJUSTED TO INCLUDE MEASURES TO PREVENT THIS TYPE OF SPILL FROM REOCCURRING AND HOW TO CLEAN UP THE SPILL IF THERE IS ANOTHER ONE. A DESCRIPTION OF THE SPILL, WHAT CAUSED IT, AND THE CLEANUP MEASURES WILL ALSO BE INCLUDED.
- THE SITE SUPERINTENDENT RESPONSIBLE FOR THE DAY-TO-DAY OPERATIONS WILL BE THE SPILL PREVENTION AND CLEANUP COORDINATOR. THEY WILL DESIGNATE SITE PERSONNEL WHO WILL RECEIVE SPILL PREVENTION AND CLEANUP TRAINING. THESE INDIVIDUALS WILL EACH BE RESPONSIBLE FOR A PARTICULAR PHASE OF PREVENTION AND CLEANUP. THE NAMES OF RESPONSIBLE SPILL PREVENTION WILL BE POSTED IN THE MATERIAL STORAGE AREA AND IN THE OFFICE TRAILER ON SITE.

**IMPLEMENTATION SCHEDULE & SEQUENCE OF MAJOR CONSTRUCTION OPERATIONS.**

**NOTE:**  
ALL SEDIMENT AND EROSION CONTROLS WILL BE INSTALLED WITHIN 7 DAYS OF ALL CLEARING AND GRUBBING OF THE PROPOSED SITE.

- BEFORE ANY GRADING ACTIVITIES BEGIN:**
  - CONSTRUCT STABILIZED CONSTRUCTION ENTRANCE
  - CONSTRUCT ORANGE CONSTRUCTION FENCING AS NECESSARY TO ENCLOSE SITE
  - INSTALL PERIMETER SILT FENCE BERMS PER DETAIL
  - PROVIDE ORANGE CONSTRUCTION FENCING PROTECTION FOR AREAS TO REMAIN UNDISTURBED

- CLEARING AND GRUBBING:**
  - INSTALL REMAINING FILTER BERMS, PER PLAN REQUIREMENTS
  - CLEAR AND GRUB THE SEDIMENT BASIN/STOCKPILE/STOCKPILE AREA
  - CONSTRUCT SEDIMENT BASIN/WATER QUALITY BASIN PER PLAN WITH OUTLET STRUCTURE, SUMMER EMERGENCY SPILLWAY, Baffles AND ASSOCIATED PUMPING
  - INSTALL TEMPORARY DIVERSION SWALES TO DIRECT STORMWATER RUNOFF TO THE TEMPORARY SEDIMENT BASIN'S INLET
  - CLEAR AND GRUB REMAINING AREAS DESIGNATED ON THE PLAN
  - CONSTRUCT CONCRETE WASHOUT AREA, VEHICLE FUELING AREA, CONSTRUCTION DUMPSTER AREA, AND SOIL, SANITARY, AND TOXIC WASTE AREA

- STRIPPING AND STOCKPIILING OF TOPSOIL:**
  - STRIP TOPSOIL WHERE APPLICABLE AND PLACE IN DESIGNATED STOCKPILE AREA
  - CONSTRUCT FILTER BERM AROUND STOCKPILE
  - INSTALL SOIL STABILIZATION MEASURES AS NEEDED
  - DISTURBED AREAS WHERE CONSTRUCTION WILL CEASE FOR MORE THAN 14 DAYS WILL BE STABILIZED

- MASS GRADING OPERATIONS:**
  - BEFORE MASS GRADING OF SITE PER PLAN
  - INSTALL EROSION CONTROL MEASURES (ROCK DAMS, EROSION CONTROL MATTING, ETC.) PER PLAN REQUIREMENTS AS NEEDED
  - DISTURBED AREAS WHERE CONSTRUCTION WILL CEASE FOR MORE THAN 14 DAYS WILL BE STABILIZED

- UTILITY CONSTRUCTION:**
  - ENSURE COMPLETION OF SEDIMENT BASINS PRIOR TO ANY CONSTRUCTION OF STORMWATER SERVICE PER PLAN
  - CONSTRUCT SANITARY SERVICE AND WATERLINE, PER PLAN
  - CONSTRUCT STORM SERVICE SYSTEM, INCLUDING HEADWALLS, CATCH BASINS, YARD DRAINAGE, AND ROCK CHANNELS, PROTECTION, PER PLAN
  - INSTALL INLET PROTECTION
  - INSTALL SOIL STABILIZATION MEASURES AS NEEDED

- PAVING OPERATIONS:**
  - CONSTRUCT ASPHALT AND CONCRETE PAVING, SIDEWALK, CURB
  - CLEAN AND RESET ALL UTILITY STRUCTURES TO FINAL SIZE

- FINAL GRADING OPERATIONS:**
  - CONTACT CUYAHOGA COUNTY SOIL AND WATER CONSERVATION DISTRICT PRIOR TO REMOVAL OF TEMPORARY SEDIMENT AND EROSION CONTROLS, CUYAHOGA COUNTY SWCD TO EVALUATE SITE PRIOR TO REMOVAL.
  - REMOVE BMP'S PER PLAN
  - REMOVE BMP'S FROM STORM INLETS AND FINAL PAVEMENT ACTIVITIES
  - REMOVE ALL TEMPORARY BMP'S AND STABILIZE ANY AREAS DISTURBED BY THEIR REMOVAL WITH EROSION CONTROL PRACTICES.
  - PREPARE FINAL SEEDINGS AND LANDSCAPING

- POST-GRADING OPERATIONS:**
  - IMMEDIATE STABILIZATION OF TEMPORARY SEDIMENT BASIN / PERMANENT DETENTION BASIN
  - MONITOR PROGRESS OF SITE STABILIZATION
  - RE-SEED AND REPAIR DAMAGED AREAS
  - MAINTAIN AND INSPECT ALL PERMANENT BMP'S

- PROJECT CLOSEOUT:**
  - CONTROL VALUE ZONING AND NOTIFY THEM WHEN THE PROJECT IS COMPLETE AND BUILT PER THE APPROVED PLAN. VALUE ZONING WILL REQUIRE A CONSTRUCTION CERTIFICATION FOR PROJECT TO ASSURE IT WAS BUILT PER APPROVED PLAN PRIOR TO SITE CLOSE-OUT.
  - ONCE VALUE ZONING IS SATISFIED WITH PROJECT, CONTACT CUYAHOGA COUNTY SWCD FOR ASSISTANCE IN CLOSING OUT STATE / LOCAL CONSTRUCTION PERMITS ASSOCIATED WITH THE SWPP.

**STRUCTURAL BMP LONG-TERM MAINTENANCE (GENERAL NOTES)**

- THE OWNER AGREES TO MAINTAIN IN PROPERITY THE STORM WATER MANAGEMENT PRACTICES IN ACCORDANCE WITH APPROVED MAINTENANCE PLANS. A MANAGER THAT WILL PERFORM THE STORM WATER MANAGEMENT PRACTICES TO PERFORM THE PURPOSES FOR WHICH THEY WERE DESIGNED AND CONSTRUCTED. THIS INCLUDES ALL PIPES, STRUCTURES, IMPROVEMENTS, AND VEGETATION PROVIDED TO CONTROL THE QUANTITY AND QUALITY OF THE STORM WATER. COPIES OF THE MAINTENANCE AGREEMENT SHALL BE PROVIDED TO THE DESIGN ENGINEER AND/OR LOCAL AUTHORITIES.
- NO ALTERATION TO THE WATER QUALITY/DETENTION BASINS WITHOUT APPROVAL FROM THE DESIGN ENGINEER.
- THE OWNER SHALL PROVIDE A MAINTENANCE PLAN FOR EACH STORM WATER MANAGEMENT PRACTICE. THE MAINTENANCE PLANS SHALL INCLUDE A SCHEDULE FOR MONTHLY AND ANNUAL MAINTENANCE. THE OWNER SHALL MAINTAIN, UPDATE, AND STORE THE MAINTENANCE RECORDS FOR THE STORM WATER MANAGEMENT PRACTICES. THE SPECIFIC MAINTENANCE PLANS FOR EACH STORM WATER MANAGEMENT PRACTICE ARE AS FOLLOWS:

**MAINTENANCE TO BE COMPLETED EVERY 6 MONTHS**

- REMOVE TRASH AND/OR ACCUMULATED SEDIMENT FROM POND AREA
- REMOVE OBSTRUCTIONS IN INLET PIPES AND/OR OUTLETS WITHIN POND
- REMOVE DEBRIS AND SEDIMENT FROM INLET PIPES, OUTLET PIPES, AND STRUCTURES

**MAINTENANCE TO BE COMPLETED YEARLY**

- REPAIR EROSION TO DITCH/ALL OR DRAINWAY OF THE POND
- REPAIR AND/OR REPLACE DAMAGED STRUCTURES, SUCH AS CATCH BASINS, RISERS, PIPES AND HEADWALLS
- MONITOR EMBANKMENTS AND REMOVE WOODY VEGETATION ON EMBANKMENTS

**YEARLY REPORT REQUIREMENTS**  
SHEET SHOWING GENERAL AREA OF BMP'S, SUMMARY OF ALL MAINTENANCE ACTIVITIES SINCE LAST ANNUAL INSPECTION, PHOTOS AND DESCRIPTION OF ALL BMP DESIGN FEATURES, INDICATION OF ANY DEVIATION FROM APPROVED PLAN FOR BMP, IDENTIFICATION OF IMPROVEMENTS NECESSARY TO RESTORE ORIGINAL DESIGN FUNCTION, MAINTENANCE ACTIVITIES REQUIRED IN THE NEXT 6 MONTHS, IDENTIFICATION WITH CONTACT INFORMATION AND ENTITY RESPONSIBLE FOR BMP, AND IDENTIFICATION AND CONTACT INFORMATION FOR ENGINEER PREPARING THE REPORT, INCLUDING SIGNATURE AND SEAL.

**Table 1: Permanent Stabilization**

Area requiring permanent stabilization	Time frame to apply erosion controls
Any area that will be dormant for one year or more	Within seven days of the most recent disturbance
Any area within 50 feet of a surface water of the state and not at final grade	Within seven days of reaching final grade
Any other areas at final grade	Within seven days of reaching final grade within that area

**Table 2: Temporary Stabilization**

Area requiring temporary stabilization	Time frame to apply erosion controls
Any disturbed areas within 50 feet of a surface water of the state and not at final grade	Within two days of the most recent disturbance if the area will remain idle for more than 14 days
For all construction activities, any disturbed areas that will be dormant for more than 14 days but less than one year, and not within 50 feet of a surface water of the state	Within seven days of the most recent disturbance within the area
Disturbed areas that will be idle over winter	For residential subdivisions, disturbed areas must be stabilized at least seven days prior to transfer of partial coverage for the individual lot(s). Prior to the onset of winter weather
Where negative stabilization techniques may cause structural instability or are otherwise undesirable, alternative stabilization techniques must be employed. Permanent and temporary stabilization are defined in Part VII.	

**GRADING & STABILIZATION ACTIVITIES LOG**

DATE GRADING ACTIVITY INITIATED	DESCRIPTION OF THE GRADING ACTIVITY INCLUDING LOCATION	DATE GRADING ACTIVITY CEASED	DATE STABILIZATION MEASURES INITIATED	DESCRIPTION OF THE STABILIZATION MEASURE INCLUDING LOCATION

**SWPP3 MODIFICATION & UPDATE LOG**

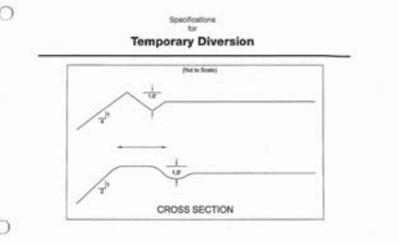
MODIFICATION DATE	DESCRIPTION OF THE MODIFICATION /UPDATE	MODIFICATION PREPARED BY (NAME & TITLE)

**SWPP3 INSPECTION REPORT LOG**

INSPECTION NUMBER	NAME OF INSPECTOR	DATE OF INSPECTION	RAIN EVENT	TYPE OF CORRECTIVE ACTION REQUIRED

**CORRECTIVE ACTION LOG**

INSPECTION DATE	INSPECTOR NAME	DESCRIPTION OF CORRECTIVE ACTION NEEDED (FROM INSPECTION REPORT)	CORRECTIVE ACTION TAKEN	DATE ACTION TAKEN



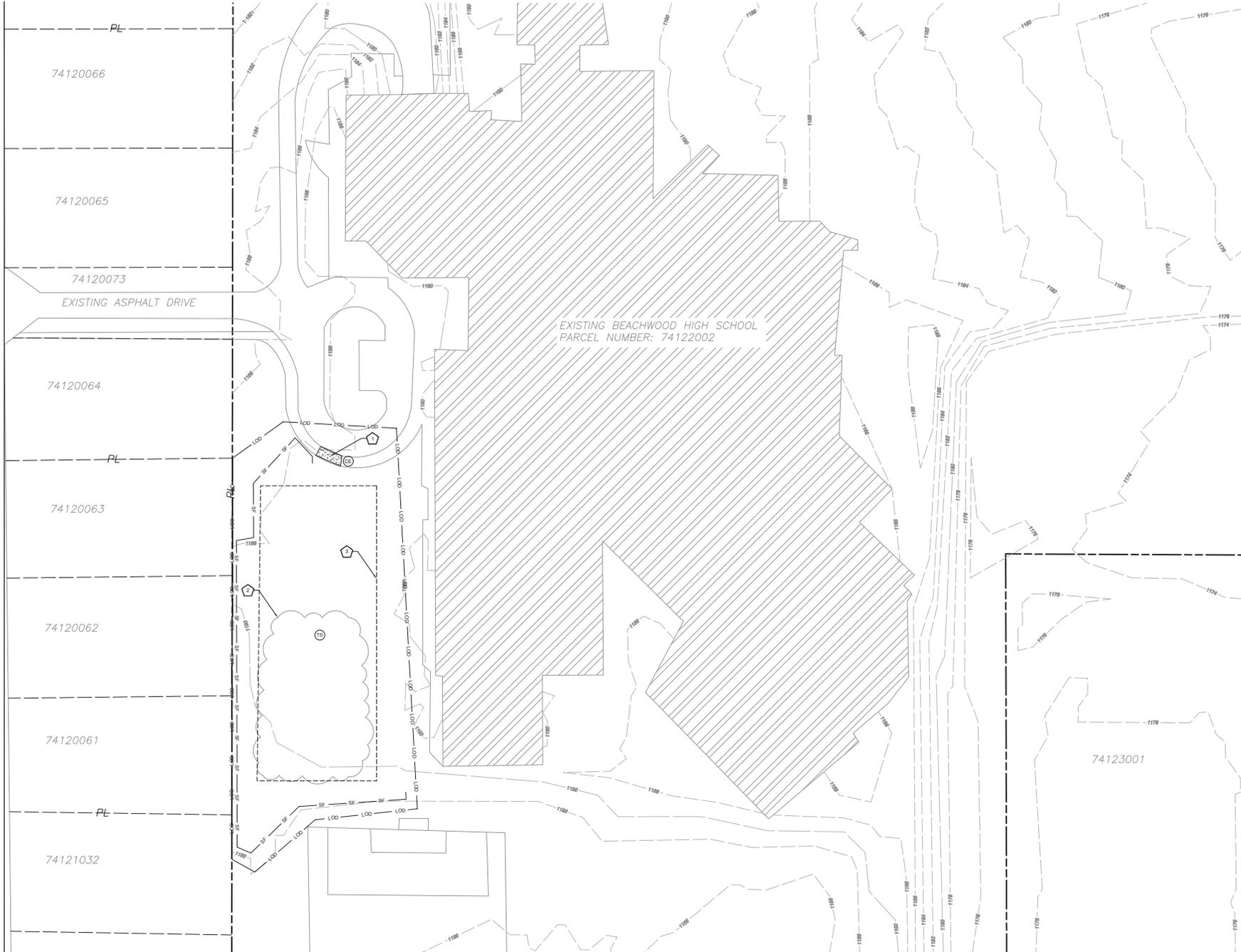
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CHAPTER 3 - Temporary Diversion Control II





SHAKERCREST BLVD



**LEGEND**

	1001	EXISTING CONTOURS
	1050	EXISTING CONTOURS
	SF	SILT FENCE
	LOD	LIMIT OF DISTURBANCE
		TOPSOIL STOCKPILE LOCATION

TEMPORARY CONSTRUCTION ENTRANCE

**KEY NOTES**

	ACCESS TO EXISTING STOCKPILE AND TEMPORARY STORAGE PILE LOCATION. PROTECT SIDEWALK WITH ROAD PLATE DURING USE.
	ALTERNATE 1 - MATERIAL TO BE REMOVED
	ALTERNATE 2 - TOP SOIL STORAGE AREA

**TOPSOIL STOCKPILE**



PROGRESS NOT FOR CONSTRUCTION 4/24/2024



HILLTOP ELEMENTARY SCHOOL  
 BEACHWOOD CITY SCHOOL DISTRICT  
 24524 HILLTOP DRIVE  
 BEACHWOOD, OH 44122

NO.	REV.	DATE	DESCRIPTION
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TOPSOIL STOCKPILE

Sheet No. **CES706**

Scale: 1" = 30'

Project No. 20064



PLANTING - TREE IMAGES



ACER X FREEMANII 'CELEBRATION'      ACER SACCHARUM 'GREEN MOUNTAIN'      AESCULUS FLAVA      AMELANCHIER X GRANDIFLORA 'AUTUMN BRILLIANCE'      CARPINUS CAROLINIANA



QUERCUS BICOLOR      QUERCUS PRINUS      TAXODIUM DISTICHUM      ULMUS X FRONTIER



PICEA ABIES      PICEA GLAUCA      THUJA Plicata

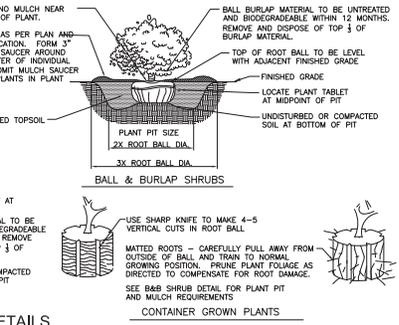
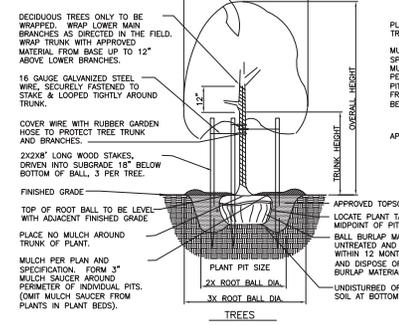
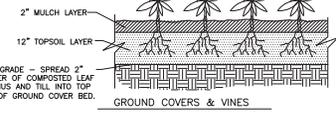
PRELIMINARY PLANT LIST

ABBREVIATION	SCIENTIFIC NAME	COMMON NAME	QUANTITY	PLANTED SIZE	MATURE SIZE
<b>SHADE AND ORNAMENTAL TREES</b>					
T-CER-CEL	ACER X FREEMANII 'CELEBRATION'	CELEBRATION MAPLE	12	2" CAL. BAB	40' HT. X 20' W.
T-CER-SAC	ACER SACCHARUM 'GREEN MOUNTAIN'	GREEN MOUNTAIN SUGAR MAPLE	5	2" CAL. BAB	40' HT. X 20' W.
T-CER-YEL	ACER SACCHARUM 'YELLOW BIRCH'	YELLOW BIRCH	3	2" CAL. BAB	40' HT. X 20' W.
T-CER-PAN	AMELANCHIER X GRANDIFLORA 'AUTUMN BRILLIANCE'	AUTUMN BRILLIANCE SERVICEBERRY	3	10' HT. CALIMP. BAB	40' HT. X 18' W.
T-CER-CAR	CARPINUS CAROLINIANA	HURDLE OAK	3	2" CAL. BAB	40' HT. X 20' W.
T-CER-Q-B	QUERCUS BICOLOR	SWAMP WHITE OAK	7	2" CAL. BAB	40' HT. X 20' W.
T-CER-Q-P	QUERCUS PRINUS	CHERRYBARK OAK	7	2" CAL. BAB	40' HT. X 20' W.
T-CER-TAX	TAXODIUM DISTICHUM	BALD CYPRESS	3	2" CAL. BAB	40' HT. X 20' W.
T-CER-U-F	ULMUS X FRONTIER	FRONTIER ELM	10	2" CAL. BAB	40' HT. X 20' W.
<b>EVERGREEN TREES</b>					
T-CEA-A	PICEA ABIES	NORWAY SPRUCE	7	6" HT. BAB	60' HT. X 30' W.
T-CEA-G	PICEA GLAUCA	WHITE SPRUCE	6	6" HT. BAB	60' HT. X 30' W.
T-THU	THUJA Plicata 'GREEN GIANT'	GIANT WESTERN ARBORVITAE	16	6" HT. BAB	70' HT. X 8.0' W.
<b>SHRUBS</b>					
S-AM-B	AESCULUS PAMELORA	BOTTLE BRUSH BUCKEYE	215	3/4" NO. 3 CONT.	6" HT. X 12" W.
S-AR-A	ARONIA MELANOCARPA 'AUTUMN MAGIC'	BLACK CHERRYBERRY	24	NO. 3 CONT.	4" HT. X 8" W.
S-CAL-Y	CALYCANTHUS FLOREUS 'ATHENS'	ATHENS SWEETSHRUB	18	NO. 3 CONT.	36" HT. X 4.8" W.
S-COR-F	CORONILLA FLORENA	SWEET FERNS	15	NO. 3 CONT.	36" HT. X 4.8" W.
S-COR-N	CORONILLA NORDICA	SILKY DOGWOOD	18	NO. 3 CONT.	6" HT. X 8" W.
S-FO-T	POTYFRILLA TOPIARIA	DIWIDE FORTYBILLA	15	NO. 3 CONT.	36" HT. X 4.8" W.
S-HY-A	HYDRANGEA ARBORESCENS 'ANNABELLE'	ANNABELLE HYDRANGEA	18	NO. 3 CONT.	36" HT. X 4.8" W.
S-HY-N	HYDRANGEA OLEIFOLIA 'NINEBARK'	DIWIDE OAKLEAF HYDRANGEA	20	NO. 3 CONT.	36" HT. X 4.8" W.
S-ILE-X	ILEX GLABRA 'DESER'	COMPACT HEDGE	18	NO. 4 CONT.	34" HT. X 4.8" W.
S-ILE-X	ILEX VEICUNA 'SUNNY GARDEN'	HEDGE GARDEN SHEETSORE	18	NO. 3 CONT.	34" HT. X 4.8" W.
S-SP-W	PHYSCARPUS OXYPOBUS 'SUMMER WINE'	SUMMER WINE ANEBARR	24	NO. 4 CONT.	7" HT. X 7" W.
S-SP-T	POTENTILLA FRUTICOSA 'SOLDADERS'	GOLDENRINGER POTENTILLA	15	NO. 3 CONT.	33" HT. X 4.8" W.
<b>ORNAMENTAL GRASSES - IN PLANT BEDS - PLANT AT 24" OC.</b>					
G-AND-R	ANDROPOGON GERARDII 'RED OCTOBER'	RED OCTOBER BEG BLUESTEM	50	CLUMP NO. 2 CONT.	24" HT.
G-DEZ-S	PASTINACA VERTICILLATA 'SPEERZONCH'	RED SPICEGRASS	15	CLUMP NO. 2 CONT.	34" HT.

NOTE - QUANTITIES SHOWN ARE APPROXIMATE. CONTRACTOR SHALL VERIFY QUANTITIES SHOWN ON THE PLAN.

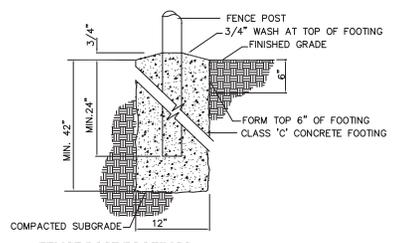
PLANTING NOTES

1. TOPSOIL BACKFILL FOR SHRUBS AND TREES SHALL BE WELL-MIXED WITH COMPOST PEAT MATERIAL, 50% BY VOLUME AS APPROVED BEFORE PLANTING.
2. PLANT FERTILIZER - SHALL BE PLANT TABLETS (AGRIFORM 20-10-5 OR APPROVED EQUAL). USE (1) 21 TABLET FOR EACH 2" CAL. OF TREE SIZE AND EACH 1" HEIGHT OR SPREAD OF SHRUB SIZE.
3. ALL PLANTS TO CONFORM TO ANSI Z 60.1 (LATEST EDITION).

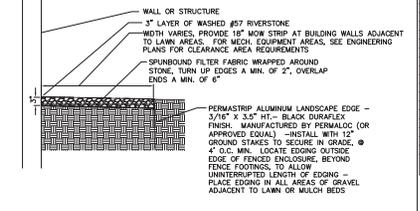


PLANTING DETAILS

SCALE: NOT TO SCALE



FENCE POST FOOTINGS  
NOT TO SCALE



BUILDING MOW STRIP AND GRAVEL AREAS SURROUNDING MECH. EQUIP.  
NOT TO SCALE

PRELIMINARY PLAYGROUND IMAGES



PROGRESS NOT FOR CONSTRUCTION 2/17/2024



HILLTOP ELEMENTARY SCHOOL  
BEACHWOOD CITY SCHOOL DISTRICT  
24524 HILLTOP DRIVE  
BEACHWOOD, OH 44122

NO.	DESCRIPTION	DATE
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05	Sheet 5 of 1	01/25/2024
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49	Sheet 49 of 1	01/25/2024
50	Sheet 50 of 1	01/25/2024

DESIGN DEVELOPMENT  
LANDSCAPE DETAILS

Sheet number: **L102**

File number: 20064





















P.O. Box 3163  
Cuyahoga Falls, Ohio 44223  
Ph: 440-725-1886  
geosmerigan@gmail.com

TO: Beachwood Planning Commission

FROM: George Smerigan, City Planner



DATE: May 15, 2024

RE: **P&Z 2024-4(A) ThenDesign Architecture  
Beachwood Board of Education  
Hilltop School  
Final Site Development Plan**

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This request is for approval of the final site development plan. The property is zoned U-5 Public and Institutional District. The applicant is proposing to construct a new elementary school that would accommodate grades 3 – 5. The proposed plan provides for 29 classrooms as well as an office wing of approximately 2,400 square feet, a media center of about 2,887 square feet, a cafeteria, and a gymnasium. The offices, media center, cafeteria, and gymnasium are grouped together in the western most wing of the building. Going eastward there are three classroom wings.

The site would be accessed from both Hilltop Drive and Penshurst Drive. Buses would use the Penshurst Drive access, while parent drop-off and pick-up would be via Hilltop Drive. The site plan indicates a total of 90 parking spaces, which exceeds the minimum Code requirement. The building is located on the eastern portion of the site with the parking in the center. The site plan includes outdoor play areas, including soccer and baseball/softball fields and playground equipment. The play areas and fields are located on the western end of the site.

There is a significant grade change on the site from rising from east to west. The applicant has located the taller portions of the building to the west with the shorter elements to the east. As a result, while ground grades rise going to the east, the roof elevation at the eastern end, which has a height of 14 feet, is basically the same as the taller elements at the western end, which are 27 feet in height.

The applicant has provided a photometric lighting plan. All of the proposed lighting is LED with full cut-off fixtures in compliance with the Code. The photometric plan shows no light spillage beyond the boundaries of the subject site.

The applicant has provided a detailed landscaping plan that specifies the number, species, and initial planting size of all proposed plant materials. The overall plan is a combination of ornamental and evergreen trees with a variety of shrubs. The landscape plan also includes details for the various playground equipment. Planting size of trees is 6 feet for evergreens and 2-inch caliper for ornamental, which is consistent with City standards.

The applicant provided a sight line study at the eastern end of the property for the two houses on the Margot Court cul-de-sac. As noted above, the eastern wall of the building is 14 feet in height. The school site then rises two (2) feet from the rear wall to the property line. The two houses on Margot Court have finished grades that are approximately four (4) feet higher than that property line, so the ground grade at the houses is about six (6) feet higher than at rear of the school. The edge of the deck of the nearest house is approximately 71 feet from the rear wall of the school. The result is a height differential of eight (8) feet over a distance of 71 feet. The rear wall of the building is approximately 170 feet long.

The landscape plan proposes a screen buffer for the two houses that includes fifteen (15) evergreen trees (6 Norway Spruce, 6 White Spruce, and 3 Bald Cypress). It is recommended that to create a more effective buffer sooner, the applicant add six (6) additional spruce trees to the buffer and that the planting size of the trees within this buffer area be increased to eight (8) feet in height. The remainder of the screen buffers appear adequate as proposed.

The final site development t plan appears to be compliant with the minimum standards of the U-5 Public and Institutional District and with the previously approved preliminary site plan. It is recommended that the Commission grant final site development plan approval subject to the following:

1. Compliance with the comments and recommendations of the City Engineer and Fire Department; and
2. Revision of the landscape plan to increase the number and size of trees in the eastern screen buffer as noted.



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**Cleveland Office**

5595 Transportation Blvd  
Suite 100  
Cleveland, OH 44125

tel 216.518.5544  
fax 216.518.5545

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**MEMORANDUM**  
**CITY OF BEACHWOOD**  
**PLANNING AND ZONING COMMISSION MEETING**

**Meeting Date: May 30, 2024**

**Report Date: May 21, 2024**

2022120.02

To: Mr. Brian Roenigk  
Building Commissioner

From: Joseph R. Ciuni, P.E. P.S.  
City Engineer

**AGENDA ITEM NO. 7**

**P & Z 2024-04 (A) Ryan Schmit, Then Design Architecture, on behalf of Beachwood Board of Education, is requesting final site plan approval for a proposed new school to be located at 24524 Hilltop Drive, Hilltop Elementary School.**

We have reviewed the plans submitted and recommend final site plan approval, contingent upon receiving final plans to complete our review.

We have already recommended an early site package approval for preliminary work to proceed. Once a complete set of final plans are submitted we will review for final permits.

## Fire Prevention Bureau

## P&Z Report

To: Planning and Zoning Commission  
From: Matthew Domonkos, Assistant Chief  
Date: 05/20/2024  
Re: P&Z # 2024-4A Final Site Plan (24524 Hilltop Dr.)

---

The Fire Prevention Bureau has reviewed the drawings/documents submitted for this item.

1. Provide fire lane around structure as discussed in planning meeting. Minimum width of 22 feet.
2. Standpipe will be installed due to limited vehicle access. Location of standpipe and FDC to be determined by fire prevention.
3. Fire hydrants to be installed around structure. Location to be determined at plan submittal by fire prevention.
4. The fire department has no additional comments at this time.

*Matthew Domonkos*

Matthew Domonkos  
Assistant Fire Chief

PLANNING & ZONING APPLICATION

Form must be completed or will not be processed

APPLICATION DATE: Apr 29, 2024

OWNER OF BUILDING: BASF PHONE: 216-464-5710

STREET ADDRESS: 23800 Mercantile Road

CITY/STATE/ZIP: BEACHWOOD, OH 44112

APPLICANT: ROBERT PRUNCHAK PHONE: 609-954-3297

COMPANY OR FIRM: BASF

EMAIL: rob.prunchak@basf.com

STREET ADDRESS: 23800 Mercantile Road

CITY/STATE/ZIP: BEACHWOOD, OH 44112

PRESENTER(S) TO APPEAR AT THE P&Z MEETING (include name & email address):

Matt Bedee, RA MIDDOUGH Representing BASF

DESCRIPTION OF THE PROPERTY:

ADDRESS: 23800 Mercantile Road SUITE # \_\_\_\_\_

TENANT NAME: BASF

PERMANENT PARCEL # 742-240-12 PRESENT USE: B/S1 PROPOSED USE: B/S1

PURPOSE OF APPLICATION: Addition of a 5,000 SF warehouse, 700 SF Dumpster pad, 256 SF Equipment Pad, STORMWATER RETENTION BASIN

NATURE OF THE REQUEST (check as many as apply):

- Preliminary site plan approval
- Final site plan approval
- Lot split
- Lot consolidation
- Conditional use permit
- Rezoning
- Zoning text amendment
- Other \_\_\_\_\_
- Request for a variance.

Must provide a "Box Score" indicating permitted area, distance, etc. and requested area, distance, etc. with application.

Please explain reason for variance (must indicate a hardship):

AVAILABLE PARKING IS ADEQUATE FOR FACILITY HEADCOUNT

Are there any special issues regarding this application that should be brought to the attention of the Planning Commission and Staff? If so, please explain. \_\_\_\_\_

**Planning & Zoning Submission Requirements:**

- Attach site plan of the proposed development with details such as square footage, height, purpose.
- Attach an aerial photo depicting the property and surrounding area (these are available online via County Auditor's GIS website or Google Earth).
- Attach copy of the Auditor's Report from the Cuyahoga County website indicating the real estate taxes for the property have been paid on a current basis.
- Any Planning & Zoning application which requires Council approval must have a representative attend the scheduled Council meeting.

**Planning & Zoning Submission Filing Fees & Deposits:**

A non-refundable filing fee in the amount of thirty-five dollars (\$35.00) shall be paid to the City for each application submitted to the Planning and Zoning Commission; and...

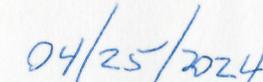
A cash fee in the amount set forth in the following schedule shall be submitted in addition to the filing fee listed in subsection (a) hereof, at the time of application to the Planning and Zoning Commission and/or Council:

	<u>Zoning District</u>	<u>Fee</u>
(1)	U-1, A-1 / U-1, A-2 / U-2 / U-2A / Variances Includes all applications to the Planning Commission and/or Council except applications for lot splits and/or consolidations plats, easement applications, and any application required to be recorded with the County Recorder's Office.	\$300.00
(2)	All other Zoning Districts for site development plan review (new building/addition)	\$5,000.00
(3)	All lot split and/or consolidation plats, easements, and any application required to be recorded with the County Recorder's Office	\$1,500.00
(4)	For all Zoning Districts, excepting U-1, A-1/U-1, A-2/U-2/ and U-2A, all other applications, including, but not limited to: special use permits, conditional use permits, variances, text amendments, or similar or harmonious use	\$750.00
(5)	Map Amendment	\$2,500.00

We, the building owner and/or applicant, with our signature below, hereby agree to follow specifically the plans submitted to and approved by the Planning and Zoning Commission and do agree to construct said building(s) as depicted on said approved plans.

  
SIGNATURE

  
PRINTED NAME

  
DATE

\*\*\*\*\*OFFICE USE ONLY\*\*\*\*\*

PLANNING & ZONING COMMISSION - P&Z No. \_\_\_\_\_ MEETING DATE: \_\_\_\_\_

FEE: RECEIPT # \_\_\_\_\_ AMOUNT \$ \_\_\_\_\_ DATE PAID \_\_\_\_\_

Preliminary Approval: \_\_\_\_\_  
Date

Final Approval: \_\_\_\_\_  
Date

Recommendation to Council:  YES  NO Meeting Date: \_\_\_\_\_

**Building Department**  
Brian Roenigk, Building Commissioner  
Phone (216) 292-1914 • Fax (216) 292-1917

**Primary Owner** The Harshaw Chemical Company  
**Property Address** 23800 Mercantile RD Beachwood,OH 44122  
**Tax Mailing Address** c/o BASF Corporation 100 Park Avenue FLORHAM PARK, NJ 07932  
**Description** 59 NWP 658.91FT N OF HIGHPOINT RD  
**Property Class** RESEARCH AND DEVELOPMENT FACILITIES  
**Parcel Number** 742-24-012  
**Taxset** Beachwood  
**Tax Year** 2023

Assessed Values	
Land Value	\$384,370
Building Value	\$939,120
Total Value	<u>\$1,323,490</u>
Homestead Value	\$

Market Values	
Land Value	\$1,098,200
Building Value	\$2,683,200
Total Value	<u>\$3,781,400</u>

Flags	
Owner Occupancy Credit	N
Homestead Reduction	N
Foreclosure	N
Cert. Pending	N
Cert. Sold	N
Payment Plan	N

Half Year Charge Amounts	
Gross Tax	\$80,540.98
Less 920 Reduction	\$28,616.84
Sub Total	\$51,924.14
10% Reduction Amount	\$0.00
Owner Occupancy Credit	\$0.00
Homestead Reduction Amount	\$0.00
Total Assessments	\$463.32
Half Year Net Taxes	<u>\$52,387.46</u>

Rates	
Full Rate	123.26
920 Reduction Rate	.350798
Effective Rate	80.020588

Escrow	
Escrow	N
Payment Amount	\$0.00

Tax Balance Summary	Charges	Payments	Balance Due
	<b>\$104,774.92</b>	<b>\$104,774.92</b>	<b>\$0.00</b>

**2023 (pay in 2024) Charge and Payment Detail**

Taxset	Charge Type	Charges	Payments	Balance Due
<b>Beachwood</b>				
	1st half tax	\$51,924.14	\$51,924.14	\$0.00
	1ST HALF BALANCE	\$51,924.14	\$51,924.14	\$0.00
	2nd half tax	\$51,924.14	\$51,924.14	\$0.00
	2ND HALF BALANCE	\$51,924.14	\$51,924.14	\$0.00
<b>C100030C-SEWER MAINTENANCE</b>				
	1st half tax - 2023	\$231.66	\$231.66	\$0.00
	1ST HALF BALANCE	\$231.66	\$231.66	\$0.00
	2nd half tax - 2023	\$231.66	\$231.66	\$0.00
	2ND HALF BALANCE	\$231.66	\$231.66	\$0.00
<b>C100030S-Sewer Maintenance</b>				
	1st half tax - 2023	\$231.66	\$231.66	\$0.00
	1ST HALF BALANCE	\$231.66	\$231.66	\$0.00
	2nd half tax - 2023	\$231.66	\$231.66	\$0.00
	2ND HALF BALANCE	\$231.66	\$231.66	\$0.00

2023 Taxes	Charges	Payments	Balance Due
Tax Balance Summary	<b>\$104,774.92</b>	<b>\$104,774.92</b>	<b>\$0.00</b>

Disclaimer: Information included on this report is believed to be accurate but is not guaranteed. Cuyahoga County is not liable for errors or omissions. Cuyahoga County provides this geographic data and related analytical results as a free public service on an "as is" basis. Cuyahoga County makes no guarantee(s) or warranty(ies) as to the accuracy, completeness, or timeliness of the information contained herein, and said information is not intended to, nor does it, constitute an official public record of Cuyahoga County. While much of the data contained herein is compiled from public records, the official records of the public office or agency from which they were compiled remains the official record of any such public office or agency. **By accessing, viewing or using any part of the site, you expressly acknowledge you have read, agree to and consent to be bound by all of the terms and conditions listed on this site. Routine maintenance is performed on Fridays and disruptions may occur. We apologize for any inconvenience.**

**APPLICANT:** BASF

<b>P&amp;Z:</b>	<b>ZONING DATA</b>		<b>DATE: 4/23/24</b>
<b>ZONING STANDARDS</b>	<b>REQUIRED</b>	<b>PROPOSED</b>	<b>VARIANCE</b>
ZONING DISTRICT	U8	no change	none
MINIMUM LOT AREA	1 acre	no change	none
MINIMUM LOT FRONTAGE	150 ft	no change	none
MINIMUM FRONT YARD BUILDING SETBACK	100 ft	no change	none
MINIMUM SIDE YARD BUILDING SETBACK	individual not less 20 ft, combined not less than 80ft	no change	none
MINIMUM REAR YARD BUILDING SETBACK	not less than 50 ft	no change	none
MAXIMUM BUILDING HEIGHT	42 ft	proposed building will be less than 25 ft height <sup>+</sup>	none
MINIMUM LANDSCAPED AREA	all portions of yards are developed as lawns and maintained	all portions of yards are developed as lawns and maintained <sup>+</sup>	none
MINIMUM PARKING SETBACKS	Front = 11 ft Side = 3 ft Rear = 30 ft	Front = no change Side = no change Rear = no change	none
MINIMUM DRIVE AISLE	24 ft	no change	none
MINIMUM PARKING STALL	9 ft wide, 20 ft long	no change	none
MINIMUM OFF-STREET PARKING	based on 1 ps per 400sf =182 spaces current parking 114 ps for 81	proposed parking 110 ps for 90 employees	
SITE DEVELOPMENT PLANS			

Existing Site Aerial 23800 Mercantile Road

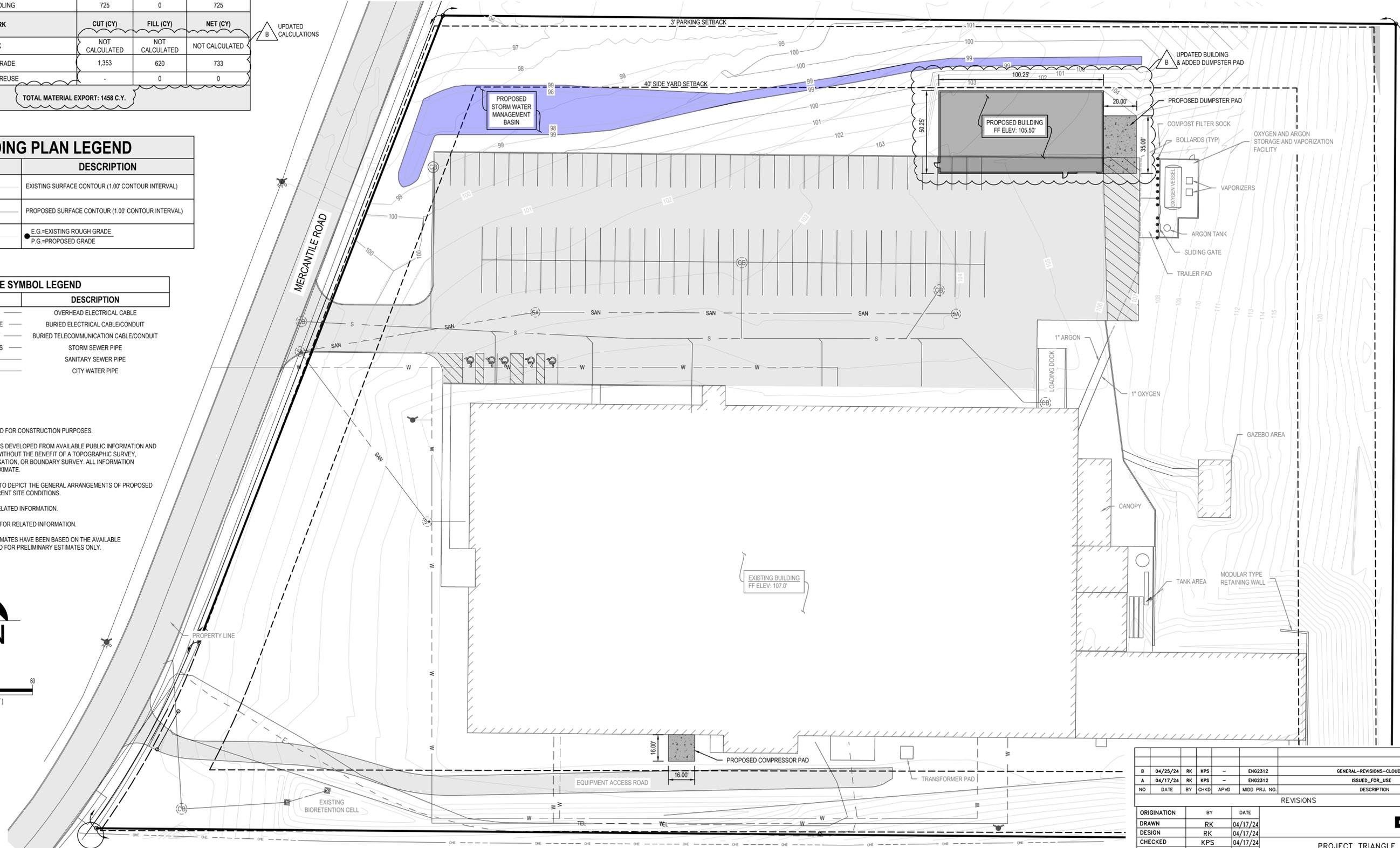
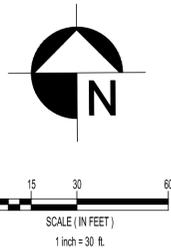


EARTHWORK QUANTITY ESTIMATE			
SURFACE PREPERATION	CUT (CY)	REUSE (CY)	WASTE (CY)
TOPSOIL HANDLING	725	0	725
EARTHWORK	CUT (CY)	FILL (CY)	NET (CY)
BEDROCK	NOT CALCULATED	NOT CALCULATED	NOT CALCULATED
SOIL TO SUBGRADE	1,353	620	733
SURFACE SOIL REUSE	-	0	0
TOTAL MATERIAL EXPORT: 1458 C.Y.			

GRADING PLAN LEGEND	
SYMBOL / ID	DESCRIPTION
	EXISTING SURFACE CONTOUR (1.00' CONTOUR INTERVAL)
	PROPOSED SURFACE CONTOUR (1.00' CONTOUR INTERVAL)
	E.G.=EXISTING ROUGH GRADE
	P.G.=PROPOSED GRADE

LINE SYMBOL LEGEND	
EXISTING	DESCRIPTION
	OHE OVERHEAD ELECTRICAL CABLE
	E BURIED ELECTRICAL CABLE/CONDUIT
	TEL BURIED TELECOMMUNICATION CABLE/CONDUIT
	S STORM SEWER PIPE
	SAN SANITARY SEWER PIPE
	W CITY WATER PIPE

- GENERAL NOTE:**
- THIS DRAWING IS NOT TO BE USED FOR CONSTRUCTION PURPOSES.
  - THIS CONCEPTUAL SITE PLAN WAS DEVELOPED FROM AVAILABLE PUBLIC INFORMATION AND CLIENT REFERENCE DRAWINGS WITHOUT THE BENEFIT OF A TOPOGRAPHIC SURVEY, UNDERGROUND UTILITY INVESTIGATION, OR BOUNDARY SURVEY. ALL INFORMATION SHOULD BE CONSIDERED APPROXIMATE.
  - THE INTENT OF THE DRAWING IS TO DEPICT THE GENERAL ARRANGEMENTS OF PROPOSED WORK IN RELATION TO THE CURRENT SITE CONDITIONS.
  - SEE BUILDING DRAWINGS FOR RELATED INFORMATION.
  - SEE COMPRESSOR PAD DETAILS FOR RELATED INFORMATION.
  - THE EARTHWORK QUANTITY ESTIMATES HAVE BEEN BASED ON THE AVAILABLE INFORMATION AND ARE PROVIDED FOR PRELIMINARY ESTIMATES ONLY.



**ISSUED FOR PRELIMINARY  
PLANNING AND ZONING REVIEW  
APRIL 29, 2024**

NO	DATE	BY	CHKD	APVD	MDD PRA. NO.	REVISIONS
B	04/25/24	RK	KPS	-	ENG2312	GENERAL-REVISIONS-CLOUDED
A	04/17/24	RK	KPS	-	ENG2312	ISSUED FOR USE

ORIGINATION	BY	DATE
DRAWN	RK	04/17/24
DESIGN	RK	04/17/24
CHECKED	KPS	04/17/24
APPROVAL	BY	DATE

PROJECT TRIANGLE LAB BUILDOUT				
CONCEPTUAL SITE PLAN				
DRAWING NUMBER				REV
ENG2312-CSP1				A
SITE	LOCATION	TYPE	GROUP	SHEET
CAD INFORMATION				
BLOCK				
APPRO. No.				
PROJECT No.				
SITE	BEACHWOOD			
SCALE	NOTED			

THIS DRAWING AND DESIGN INCLUDING, BUT NOT LIMITED TO, ALL PATENTABLE FEATURES SEPARATELY OR COLLECTIVELY SHOWN ARE THE PROPERTY OF BASF AND ARE NOT TO BE REPRODUCED, IN WHOLE OR IN PART, NOR USED FOR ANY PURPOSE OTHER THAN AS SPECIFICALLY PERMITTED IN WRITING BY BASF. THIS DRAWING IS LOANED AND SHALL BE RETURNED ON DEMAND.

STATE LICENSE #:

OWNER:

CLIENT PROJECT #:

PROJECT TITLE:

**PROJECT  
TRIANGLE**

23800 Mercantile Rd  
Beachwood, OH 44122

ISSUE FOR APPROVAL  
ISSUE / REVISIONS

COPYRIGHT (C) MIDDOUGH 2024

DRAWN BY: Author

CHECKED BY: Checker

APPROVED BY: Approver

AOR / EOR:

SHEET TITLE:

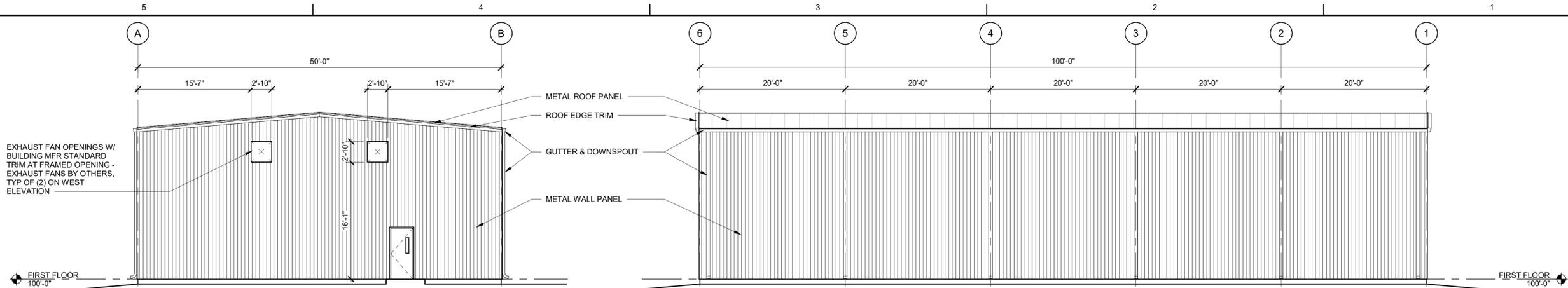
**PRE-ENGINEERED  
METAL BUILDING  
CRITERIA BUILDING  
ELEVATIONS /  
SECTIONS**

DOCUMENT CONTROL #:

PROJECT # - DISC # - SHEET # ISSUE

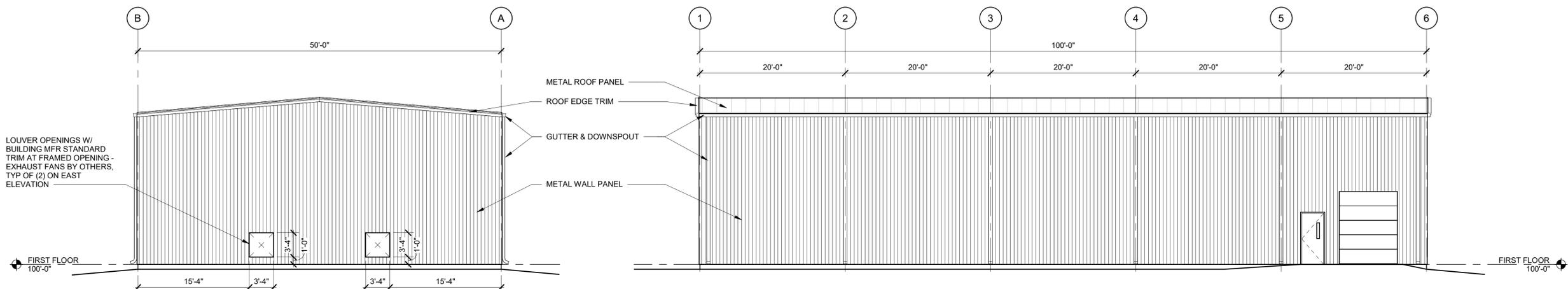
ENG2312-050-AE201 A

4/18/2024 1:28:34 PM



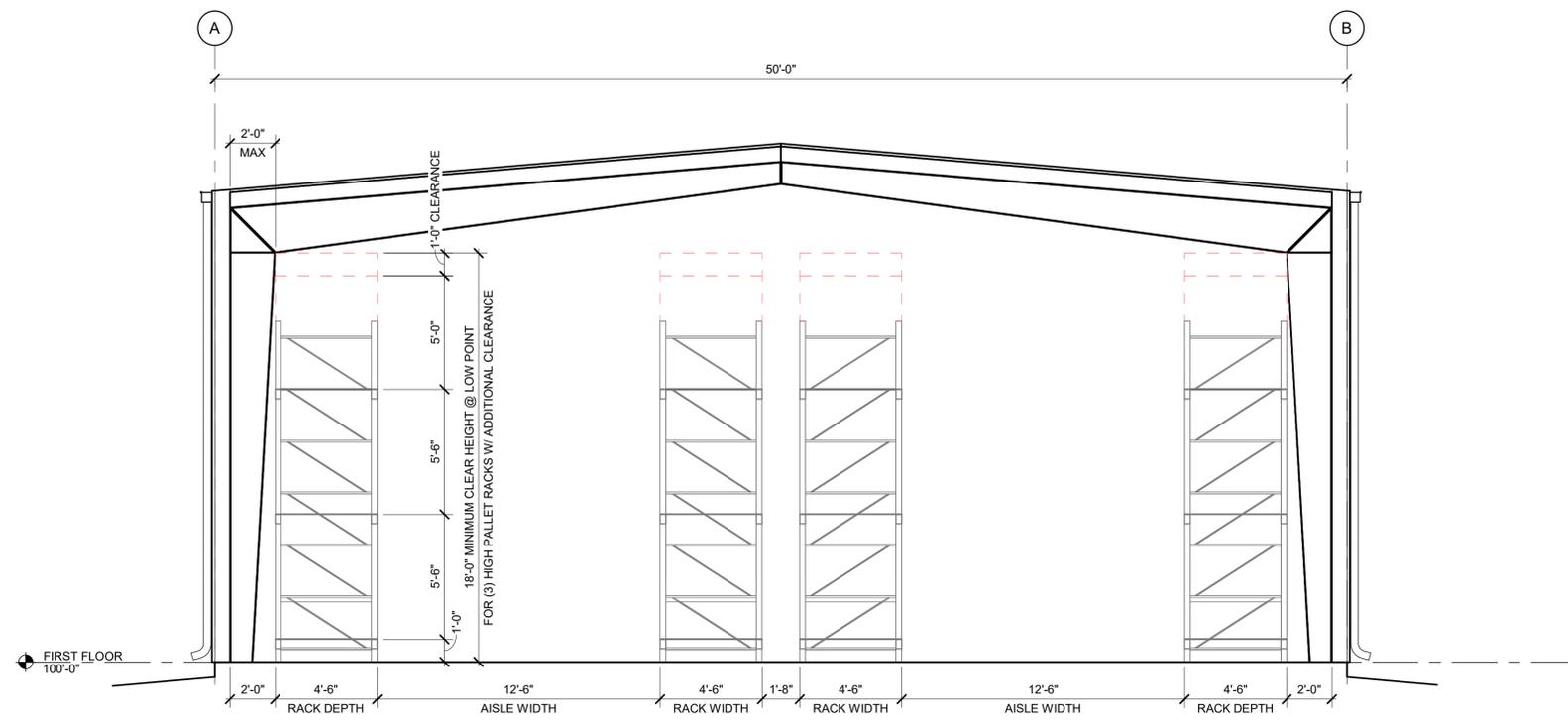
**1 WEST ELEVATION**  
AE110 SCALE: 1/8" = 1'-0"

**2 NORTH ELEVATION**  
AE110 SCALE: 1/8" = 1'-0"



**3 EAST ELEVATION**  
AE110 SCALE: 1/8" = 1'-0"

**4 SOUTH ELEVATION**  
AE110 SCALE: 1/8" = 1'-0"



**AA BUILDING SECTION**  
AE110 SCALE: 1/4" = 1'-0"

**ISSUED FOR PRELIMINARY  
PLANNING AND ZONING  
REVIEW APRIL 29, 2024**

**GENERAL NOTES**

- SEE METAL BUILDING SYSTEM SPECIFICATION, ENG2312-050-TECH-133419, FOR PRE-ENGINEERED METAL BUILDING (PEMB) DESIGN REQUIREMENTS
  - MINIMUM CLEAR HEIGHT PROVIDED IN BUILDING SECTION
  - TAPERED PEMB STRUCTURE INDICATED, STRAIGHT COLUMNS ARE ALSO ACCEPTABLE
  - BUILDING LINES TO BE MAINTAINED
- DOOR TYPES INDICATED ON PLANS PROVIDED BY PEMB MFR UNLESS NOTED OTHERWISE:
  - TYPE A: EXTERIOR 3'-0" X 7'-0" SINGLE NARROW VIEW INSULATED MAN DOOR W/ WEATHERSTRIPPING, CLOSER, AND EXIT DEVICE
  - TYPE B: EXTERIOR 8'-0" W X 10'-0" H MOTORIZED INSULATED SECTIONAL OVERHEAD DOOR W/ APPROPRIATE TRACK FOR MOUNTING

# Tactical Planning, LLC

P.O. Box 3163  
Cuyahoga Falls, Ohio 44223  
Ph: 440-725-1886  
geosmerigan@gmail.com

TO: Beachwood Planning Commission

FROM: George Smerigan, City Planner



DATE: May 9, 2024

RE: **P&Z 2024-13 RA Middough  
BASF  
23800 Mercantile Road  
Site Development Plan Approval**

---

This request is for preliminary site development plan approval for a new warehouse building to be located north of the existing building. The subject site is in the U-8 Industrial and Office Mixed-Use District. The existing facility consists of 82,025 square feet. The proposed new building is 5,000 square feet and would bring the total building area on the site to 87,025 square feet. The subject site is still well within the permitted building ground coverage. The new building would be located at the north east corner of the parking lot. The site plan indicates a new dumpster pad located directly behind the new building and between the new building and the storage tank compound. The site development plan also includes a new compressor pad to be located on the south side of the main building.

It appears that four (4) parking spaces will be eliminated to accommodate construction of the proposed building. Since the site currently has 114 improved parking spaces, the parking count would drop to 110 spaces. In 2013, the City granted BASF a parking variance of 94 spaces. As a result, the site has the equivalent of 204 parking spaces. The Code required parking is 196 spaces.

Based on the attached Box Score, the proposed preliminary site development plan will conform to the minimum requirements of the U-8 District

It is recommended that the Planning and Zoning Commission grant preliminary site development plan approval subject to compliance with the comments and recommendations of the City Engineer.

ZONING STANDARDS	REQUIRED	PROPOSED	VARIANCE
ZONING DISTRICT	U-8	U-8	
MINIMUM LOT AREA	1.0 Acres	7.47 Acres	
MAXIMUM BUILDING GROUND COVERAGE	40% or 130,158 Sq. Ft.	26.7% or 87,025 Sq. Ft.	
MINIMUM FRONT YARD BUILDING SETBACK	100 Feet	100 Feet	
MINIMUM SIDE YARD BUILDING SETBACK	20 Feet and 80 Feet Combined	40 Feet and 80 Feet Combined	
MINIMUM REAR YARD BUILDING SETBACK	50 Feet	50 Feet	
MAXIMUM BUILDING HEIGHT	42 Feet	22 Feet	
MINIMUM OPEN SPACE	5% of land area	Complies	
MINIMUM PARKING SETBACKS	Front = 11 Feet Sides = 3 Feet Rear = 30 Feet	Front = 25 Feet Side = 80 Feet Rear = 150 Feet	
MINIMUM OFF-STREET PARKING	196 Spaces	110 Existing Spaces <u>94 Space Variance</u> 204 Spaces	



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**MEMORANDUM**

**CITY OF BEACHWOOD**

**PLANNING AND ZONING COMMISSION MEETING**

**Meeting Date: May 30, 2024**

**Report Date: May 21, 2024**

2024120.01

To: Mr. Brian Roenigk  
Building Commissioner

From: Joseph R. Ciuni, P.E. P.S.  
City Engineer

**AGENDA ITEM NO. 8**

**P & Z 2024-13      Matt Bedee, Middough, on behalf of BASF, is requesting preliminary site plan approval for a warehouse addition to be located at 23800 Mercantile Road.**

This project is recommended for preliminary site plan approval. Proposed grading and storm water management will be reviewed prior to final approval.

## Fire Prevention Bureau

## P&Z Report

To: Planning and Zoning Commission  
From: Matthew Domonkos, Assistant Chief  
Date: 05/20/2024  
Re: P&Z # 2024-13 23800 Mercantile

---

The Fire Prevention Bureau has reviewed the drawings/documents submitted for this item.

1. The Fire Department has not questions or comments at this time.

*Matthew Domonkos*

Matthew Domonkos  
Assistant Fire Chief

**PLANNING & ZONING APPLICATION**

**Form must be completed or will not be processed**

APPLICATION DATE: 4-29-2024

OWNER OF BUILDING: JOSEPH IRELAND PHONE: 216-906-7471

STREET ADDRESS: 24230 COMMUNITY DRIVE

CITY/STATE/ZIP: BEACHWOOD OHIO 44122

APPLICANT: MELISSA REYNOLDS PHONE: 216-631-2111

COMPANY OR FIRM: ROLEN BROTHERS FENCE CO INC

EMAIL: SALES@ROLENBROTHERSFENCE.COM

STREET ADDRESS: 3445 WEST 86TH ST

CITY/STATE/ZIP: CLEVELAND OHIO 44102

**PRESENTER(S) TO APPEAR AT THE P&Z MEETING (include name & email address):**

MELISSA REYNOLDS SALES@ROLENBROTHERSFENCE.COM

JOSEPH IRELAND

**DESCRIPTION OF THE PROPERTY:**

ADDRESS: 24230 COMMUNITY DRIVE SUITE #

TENANT NAME: OWNER OCCUPIED

PERMANENT PARCEL # 741 - 12 - 002 PRESENT USE:  PROPOSED USE:

PURPOSE OF APPLICATION: REQUEST VARIANCE TO REPLACE 6' HIGH WOOD FENCE ALONG CHAGRIN BLVD.

**NATURE OF THE REQUEST (check as many as apply):**

- Preliminary site plan approval
- Final site plan approval
- Lot split
- Lot consolidation
- Conditional use permit
- Rezoning
- Zoning text amendment
- Other
- Request for a variance.

Must provide a "Box Score" indicating permitted area, distance, etc. and requested area, distance, etc. with application.

Please explain reason for variance (must indicate a hardship):

EXISTING FENCE IN DISREPAIR.REQUEST VARIANCE TO REPLACE IT.

Are there any special issues regarding this application that should be brought to the attention of the Planning Commission and Staff? If so, please explain.

**Planning & Zoning Submission Requirements:**

- Attach site plan of the proposed development with details such as square footage, height, purpose.
- Attach an aerial photo depicting the property and surrounding area (these are available online via County Auditor's GIS website or Google Earth).
- Attach copy of the Auditor's Report from the Cuyahoga County website indicating the real estate taxes for the property have been paid on a current basis.
- Any Planning & Zoning application which requires Council approval must have a representative attend the scheduled Council meeting.

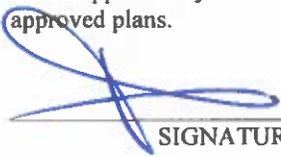
**Planning & Zoning Submission Filing Fees & Deposits:**

A non-refundable filing fee in the amount of thirty-five dollars (\$35.00) shall be paid to the City for each application submitted to the Planning and Zoning Commission; and...

A cash fee in the amount set forth in the following schedule shall be submitted in addition to the filing fee listed in subsection (a) hereof, at the time of application to the Planning and Zoning Commission and/or Council:

	<u>Zoning District</u>	<u>Fee</u>
(1)	U-1, A-1 / U-1, A-2 / U-2 / U-2A / Variances Includes all applications to the Planning Commission and/or Council except applications for lot splits and/or consolidations plats, easement applications, and any application required to be recorded with the County Recorder's Office.	\$300.00
(2)	All other Zoning Districts for site development plan review (new building/addition)	\$5,000.00
(3)	All lot split and/or consolidation plats, easements, and any application required to be recorded with the County Recorder's Office	\$1,500.00
(4)	For all Zoning Districts, excepting U-1, A-1/U-1, A-2/U-2/ and U-2A, all other applications, including, but not limited to: special use permits, conditional use permits, variances, text amendments, or similar or harmonious use	\$750.00
(5)	Map Amendment	\$2,500.00

We, the building owner and/or applicant, with our signature below, hereby agree to follow specifically the plans submitted to and approved by the Planning and Zoning Commission and do agree to construct said building(s) as depicted on said approved plans.


MELISSA REYNOLDS
4-29-24  
 \_\_\_\_\_  
 SIGNATURE PRINTED NAME DATE

\*\*\*\*\*OFFICE USE ONLY\*\*\*\*\*

PLANNING & ZONING COMMISSION - P&Z No. \_\_\_\_\_ MEETING DATE: \_\_\_\_\_

FEE: RECEIPT # \_\_\_\_\_ AMOUNT \$ \_\_\_\_\_ DATE PAID \_\_\_\_\_

Preliminary Approval: \_\_\_\_\_ Date Final Approval: \_\_\_\_\_ Date

Recommendation to Council:  YES  NO Meeting Date: \_\_\_\_\_

**Building Department**  
 Brian Roenigk, Building Commissioner  
 Phone (216) 292-1914 • Fax (216) 292-1917

**Primary Owner** IRELAND, JOSEPH B & IRELAND, CHANNA F  
**Property Address** 24230 Community DR Beachwood, OH 44122  
**Tax Mailing Address** IRELAND, JOSEPH B 24230 COMMUNITY DR BEACHWOOD, OH 44122  
**Description** 9 UNION 0015 ALL  
**Property Class** SINGLE FAMILY DWELLING  
**Parcel Number** 741-12-002  
**Taxset** Beachwood  
**Tax Year** 2023

Assessed Values	
Land Value	\$36,750
Building Value	\$241,640
Total Value	\$278,390
Homestead Value	\$

Market Values	
Land Value	\$105,000
Building Value	\$690,400
Total Value	\$795,400

Flags	
Owner Occupancy Credit	Y
Homestead Reduction	N
Foreclosure	N
Cert. Pending	N
Cert. Sold	N
Payment Plan	N

Half Year Charge Amounts	
Gross Tax	\$16,941.42
Less 920 Reduction	\$7,803.17
Sub Total	\$9,138.25
10% Reduction Amount	\$679.15
Owner Occupancy Credit	\$169.78
Homestead Reduction Amount	\$0.00
Total Assessments	\$136.46
Half Year Net Taxes	\$8,425.78

Rates	
Full Rate	123.26
920 Reduction Rate	.454801
Effective Rate	67.201265

Escrow	
Escrow	N
Payment Amount	\$0.00

	Charges	Payments	Balance Due
Tax Balance Summary	\$16,851.54	\$8,611.29	\$8,240.25

**2023 (pay in 2024) Charge and Payment Detail**

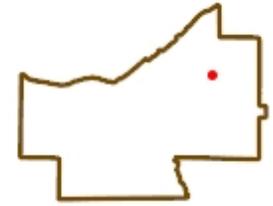
Taxset	Charge Type	Charges	Payments	Balance Due
<b>Beachwood</b>				
	1st half tax	\$8,289.32	\$8,289.32	\$0.00
	1ST HALF BALANCE	\$8,289.32	\$8,289.32	\$0.00
	2nd half tax	\$8,289.32	\$185.51	\$8,103.81
	2ND HALF BALANCE	\$8,289.32	\$185.51	\$8,103.81
<b>C100030C-SEWER MAINTENANCE</b>				
	1st half tax - 2023	\$68.23	\$68.23	\$0.00
	1ST HALF BALANCE	\$68.23	\$68.23	\$0.00
	2nd half tax - 2023	\$68.22	\$0.00	\$68.22
	2ND HALF BALANCE	\$68.22	\$0.00	\$68.22
<b>C100030S-Sewer Maintenance</b>				
	1st half tax - 2023	\$68.23	\$68.23	\$0.00
	1ST HALF BALANCE	\$68.23	\$68.23	\$0.00
	2nd half tax - 2023	\$68.22	\$0.00	\$68.22
	2ND HALF BALANCE	\$68.22	\$0.00	\$68.22

2023 Taxes	Charges	Payments	Balance Due
Tax Balance Summary	\$16,851.54	\$8,611.29	\$8,240.25

Disclaimer: Information included on this report is believed to be accurate but is not guaranteed. Cuyahoga County is not liable for errors or omissions. Cuyahoga County provides this geographic data and related analytical results as a free public service on an "as is" basis. Cuyahoga County makes no guarantee(s) or warranty(ies) as to the accuracy, completeness, or timeliness of the information contained herein, and said information is not intended to, nor does it, constitute an official public record of Cuyahoga County. While much of the data contained herein is compiled from public records, the official records of the public office or agency from which they were compiled remains the official record of any such public office or agency. By accessing, viewing or using any part of the site, you expressly acknowledge you have read, agree to and consent to be bound by all of the terms and conditions listed on this site. Routine maintenance is performed on Fridays and disruptions may occur. We apologize for any inconvenience.



# Cuyahoga County GIS Viewer



Date Created: 4/30/2024

### Legend

- Municipalities
- Right Of Way
- Platted Centerline
- Parcel

1: 1,339



Projection:  
WGS\_1984\_Web\_Mercator\_Auxiliary\_Sphere

This map is a user generated static output from an Internet mapping site and is for reference only. Data layers that appear on this map may or may not be accurate, current, or otherwise reliable.

THIS MAP IS NOT TO BE USED FOR NAVIGATION



Search by address, Owner last name, or Parcel number

Basic Tools

Navigation

Measurement and Markup

Identify and Query

Additional Data Tools

Tool Labels X



Home



Identify



Initial View



Print



Export



Share



EagleView



Google Street View

Basic Tools

Survey Parcel (1)

I want to...

Help Guide

☆ Survey Parcel 74112002

[See parcel details in MyPlace](#)

Owner: IRELAND, JOSEPH B & IRELAND, CHANNA F  
Address: 24230 COMMUNITY DR, BEACHWOOD, OH, 44122

[Search Recorded Documents](#)

[View Building Sketch](#)



Displaying 1 - 1 (Total: 1)

Page 1 of 1



Layers



Survey Parcel (1)



Basemaps

Cuy C

**Joseph Ireland  
24260 Community Drive  
Beachwood 44122**

**The existing fence along Cedar Rd is old, in disrepair and needs to be replaced. Replacing exactly the way it is installed is not within today's code. The fence has been there for 20+ years. The current owners purchased the property in 2017 when the fence was already old and already on its way to needing to be replaced and were unaware of changes in code that would affect that.**

**The current code requires it to be 20' off road and the existing fence is approximately 12' off road. Landscaping and trees do not make moving it back the additional 8' feasible. The fence has been in place for over 20 years and the landscaping is formed around its current position.**

**The current code also does not allow for it to pass the house or allow solid fences, but the way the house is situated on the property doesn't allow the fence to give the coverage from the main road the owner requires. A semi-private fence also does not give the privacy from the busy main road the owner requires.**

**Current code does not allow a property to have fence that is not uniform in color, material, and design. The current fence on the front property line is a split rail fence and on the side line (facing Cedar) is a privacy fence. Both fences are uniform in color (natural wood) and material (wood) and only differ in design. Both fences have been on the property for over 20 years.**

REMOVE AND REPLACE 181' OF 6' HIGH WOOD PRIVACY FENCE.  
ALL POSTS SET IN CONCRETE.

JOSEPH IRELAND (OWNER)  
24230 COMMUNITY DRIVE  
BEACHWOOD 44122  
216-906-7471

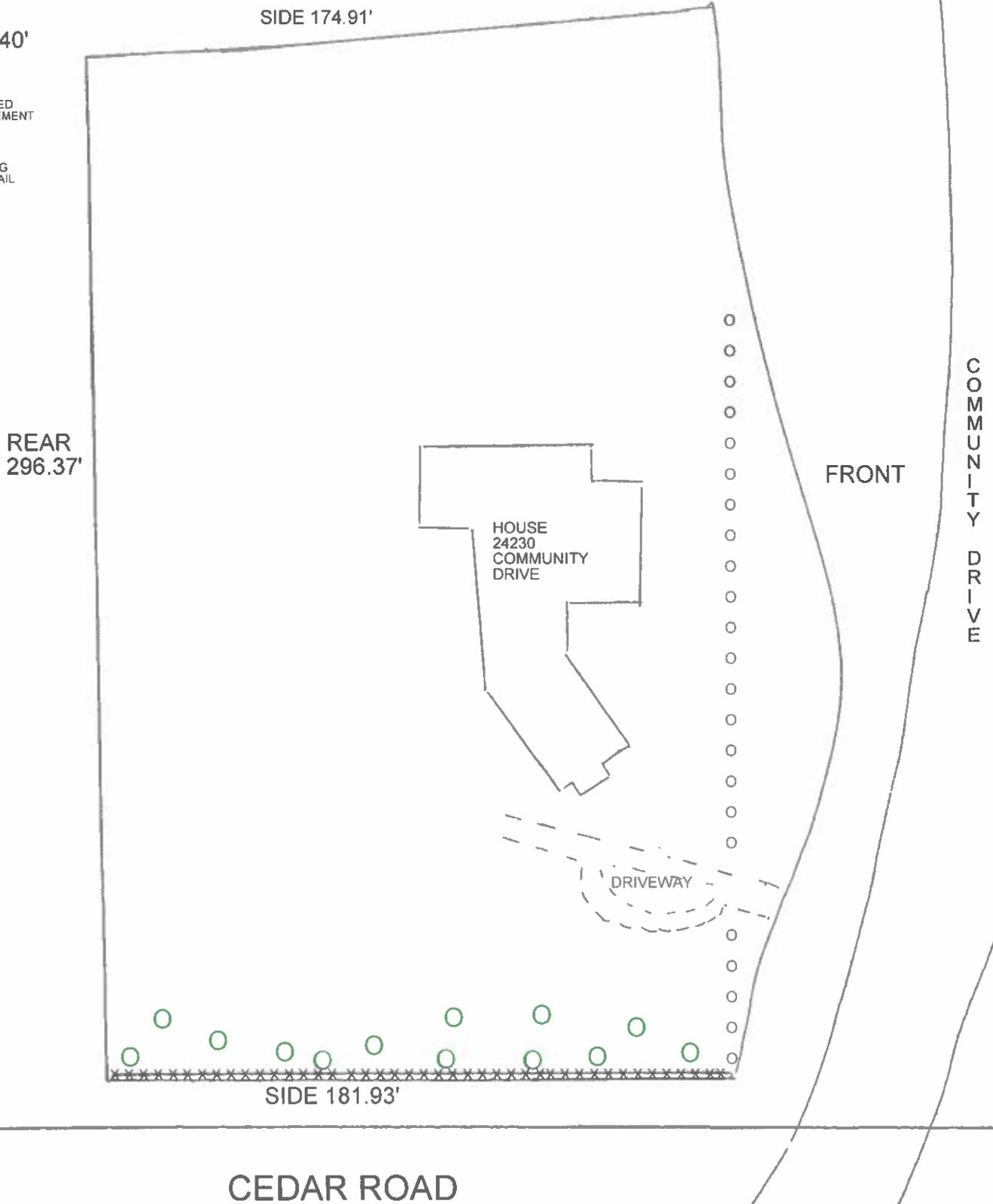


SCALE: 1"=40'

XXXX = PROPOSED REPLACEMENT FENCE

OOOO = EXISTING SPLIT RAIL FENCE

O = TREES NEAR FENCE



CEDAR ROAD







Image capture: Sep 2009 © 2024 Google













P.O. Box 3163  
Cuyahoga Falls, Ohio 44223  
Ph: 440-725-1886  
geosmerigan@gmail.com

TO: Beachwood Planning Commission

FROM: George Smerigan, City Planner

DATE: May 9, 2024

RE: **P&Z 2024-14 Roland Brothers Fence Co.  
Joseph Ireland  
24230 Community Drive  
Fence Variance**

This request is for several variances to permit the replacement of an existing solid privacy fence six (6) feet in height to be placed along the Cedar Road frontage of the subject site. The subject property is zoned U-1 Single Family Residential District. The applicant states that the existing solid wooden fence has been in place for 20 years but is in poor repair and he desires to replace it in kind. The subject site is a corner lot that also has frontage on Community Drive. The fence on the Community Drive frontage is a split rail fence four (4) feet in height.

Code Sections 1146.02(b), 1146.02(d)(4), 1146.02(d)(8), and 1146.02(d)(9) in combination require that fences in front yards be only ornamental in style; that fences in front yards meet certain setback requirements; that fencing on a property be uniform in design, material and color; and that solid fence are prohibited.

In this instance, there are several factors that are either unique to the subject site or that constitute mitigating factors relative to a variance. The fact that a solid wooden fence is existing on the subject site and has been in place for many years is not a generally existing condition that sets this property apart from others. The fact that there are two different fence types has occurred in many locations in the City where neighbors tie fences to the existing fences of the neighbors. Those situations have not adversely impacted neighborhoods. Cedar Road carries extremely high traffic volumes and the desire to buffer the noise is understandable. Finally, the subject site is directly across the street from a substantial commercial operation in Legacy Village. In fact, the subject site is opposite an entrance to the shopping center and is subject to the constant sweep of headlights exiting the center.

P&Z 2024-14  
Roland Brothers Fence Co.  
Joseph Ireland  
24230 Community Drive  
Fence Variance  
May 9, 2024  
Page 2

It is my opinion that there are sufficient unique characteristics to the subject site to set it apart from other properties in the general area and in the same zoning district and that no being able to replace the existing fence in kind and in place would constitute a practical difficulty for the property owner.

There it is recommended that the Commission approve the replacement of the existing fence with a solid wooden fence pursuant to the following:

1. Pursuant to Section 1159.04 it is determined that a practical difficulty will result on the subject site from the literal enforcement of Code Sections 1146.02(b) and 1146.02(d) with regard to the location and design of fences in front yards.
2. Granting a variance to Code Sections 1146.02(b) and 1146.02(d) to permit the installation of 181 feet of wooden privacy fence to be placed in the same location as the existing fence which is to be removed.



**GPD GROUP®**  
Glaus, Pyle, Schomer, Burns & DeHaven, Inc.

**Cleveland Office**

5595 Transportation Blvd  
Suite 100  
Cleveland, OH 44125

tel 216.518.5544  
fax 216.518.5545

[www.gpdgroup.com](http://www.gpdgroup.com)

**MEMORANDUM**

**CITY OF BEACHWOOD**

**PLANNING AND ZONING COMMISSION MEETING**

**Meeting Date: May 30, 2024**

**Report Date: May 21, 2024**

2024120.01

To: Mr. Brian Roenigk  
Building Commissioner

From: Joseph R. Ciuni, P.E. P.S.  
City Engineer

**AGENDA ITEM NO. 9**

**P & Z 2024-14      Milissa Reynolds, Rolen Brothers Fence Co. Inc., is requesting preliminary site plan approval for fence replacement along Cedar Road for property located at 24230 Community Drive.**

There are no Engineering Comments on this item.

## Fire Prevention Bureau

## P&Z Report

To: Planning and Zoning Commission  
From: Matthew Domonkos, Assistant Chief  
Date: 05/20/2024  
Re: P&Z # 2024-14 24230 Community (Fence)

---

The Fire Prevention Bureau has reviewed the drawings/documents submitted for this item.

1. The Fire Department has not questions or comments at this time.

*Matthew Domonkos*

Matthew Domonkos  
Assistant Fire Chief

**PLANNING & ZONING APPLICATION**

**Form must be completed or will not be processed**

APPLICATION DATE: 3 May 2024

OWNER OF BUILDING: 24700 Highpoint LLC PHONE: 216.464.2140

STREET ADDRESS: 23945 Mercantile Road, Suite N

CITY/STATE/ZIP: Beachwood, OH 44122

APPLICANT: Marc Cohen PHONE: 216.464.7494 x.14

COMPANY OR FIRM: North Coast Architects, Inc.

EMAIL: northcoastarchitects@windstream.net

STREET ADDRESS: 23215 Commerce Park Road, Suite 316

CITY/STATE/ZIP: Beachwood, OH 44122

**PRESENTER(S) TO APPEAR AT THE P&Z MEETING (include name & email address):**

Marc Cohen

northcoastarchitects@windstream.net

**DESCRIPTION OF THE PROPERTY:**

ADDRESS: 24700 Highpoint Road SUITE # \_\_\_\_\_

TENANT NAME: IHI IonBond Inc.

PERMANENT PARCEL # 742 - 24 - 015 PRESENT USE: U-8 PROPOSED USE: U-8

PURPOSE OF APPLICATION: site plan approval for 858 sf. 1 story addition to existing building

**NATURE OF THE REQUEST (check as many as apply):**

- Preliminary site plan approval
- Final site plan approval
- Lot split
- Lot consolidation
- Conditional use permit
- Rezoning
- Zoning text amendment
- Other \_\_\_\_\_
- Request for a variance.

Must provide a "Box Score" indicating permitted area, distance, etc. and requested area, distance, etc. with application. Please explain reason for variance (**must indicate a hardship**):

Are there any special issues regarding this application that should be brought to the attention of the Planning Commission and Staff? If so, please explain. \_\_\_\_\_

**Planning & Zoning Submission Requirements:**

- Attach site plan of the proposed development with details such as square footage, height, purpose.
- Attach an aerial photo depicting the property and surrounding area (these are available online via County Auditor’s GIS website or Google Earth).
- Attach copy of the Auditor’s Report from the Cuyahoga County website indicating the real estate taxes for the property have been paid on a current basis.
- Any Planning & Zoning application which requires Council approval must have a representative attend the scheduled Council meeting.

**Planning & Zoning Submission Filing Fees & Deposits:**

A non-refundable filing fee in the amount of thirty-five dollars (\$35.00) shall be paid to the City for each application submitted to the Planning and Zoning Commission; and...

A cash fee in the amount set forth in the following schedule shall be submitted in addition to the filing fee listed in subsection (a) hereof, at the time of application to the Planning and Zoning Commission and/or Council:

	<u>Zoning District</u>	<u>Fee</u>
(1)	U-1, A-1 / U-1, A-2 / U-2 / U-2A / Variances Includes all applications to the Planning Commission and/or Council except applications for lot splits and/or consolidations plats, easement applications, and any application required to be recorded with the County Recorder’s Office.	<b>\$300.00</b>
(2)	All other Zoning Districts for site development plan review (new building/addition)	<b>\$5,000.00</b>
(3)	All lot split and/or consolidation plats, easements, and any application required to be recorded with the County Recorder’s Office	<b>\$1,500.00</b>
(4)	For all Zoning Districts, excepting U-1, A-1/U-1, A-2/U-2/ and U-2A, all other applications, including, but not limited to: special use permits, conditional use permits, variances, text amendments, or similar or harmonious use	<b>\$750.00</b>
(5)	Map Amendment	<b>\$2,500.00</b>

We, the building owner and/or applicant, with our signature below, hereby agree to follow specifically the plans submitted to and approved by the Planning and Zoning Commission and do agree to construct said building(s) as depicted on said approved plans.

**Marc Cohen**  
Digitally signed by Marc Cohen  
 Date: 2024.05.03 08:58:20 -04'00'  
 \_\_\_\_\_  
 SIGNATURE

**Marc H. Cohen**  
 \_\_\_\_\_  
 PRINTED NAME

**3 May 2024**  
 \_\_\_\_\_  
 DATE

\*\*\*\*\*OFFICE USE ONLY\*\*\*\*\*

PLANNING & ZONING COMMISSION - P&Z No. \_\_\_\_\_ MEETING DATE: \_\_\_\_\_

FEE: RECEIPT # \_\_\_\_\_ AMOUNT \$ \_\_\_\_\_ DATE PAID \_\_\_\_\_

Preliminary Approval: \_\_\_\_\_  
 Date

Final Approval: \_\_\_\_\_  
 Date

Recommendation to Council:  YES  NO Meeting Date: \_\_\_\_\_

**Primary Owner** 24700 HIGHPOINT LLC  
**Property Address** 24700 Highpoint RD Beachwood,OH 44122  
**Tax Mailing Address** 24700 HIGHPOINT LLC 23945 MERCANTILE RD SUITE N. BEACHWOOD, OH 44122  
**Description** 59 HIPTRD S/L 4 WP 0003 ALL 74224016  
**Property Class** MANUFACTURING AND ASSEMBLY LIGHT  
**Parcel Number** 742-24-015  
**Taxset** Beachwood  
**Tax Year** 2023

**Assessed Values**

Land Value	\$112,880
Building Value	\$210,250
Total Value	<u>\$323,130</u>
Homestead Value	\$

**Market Values**

Land Value	\$322,500
Building Value	\$600,700
Total Value	<u>\$923,200</u>

**Flags**

Owner Occupancy Credit	N
Homestead Reduction	N
Foreclosure	N
Cert. Pending	N
Cert. Sold	N
Payment Plan	N

**Half Year Charge Amounts**

Gross Tax	\$19,664.08
Less 920 Reduction	\$6,986.80
Sub Total	<u>\$12,677.28</u>
10% Reduction Amount	\$0.00
Owner Occupancy Credit	\$0.00
Homestead Reduction Amount	\$0.00
Total Assessments	<u>\$250.14</u>
Half Year Net Taxes	<u>\$12,927.42</u>

**Rates**

Full Rate	123.26
920 Reduction Rate	.350798
Effective Rate	80.020588

**Escrow**

Escrow	N
Payment Amount	\$0.00

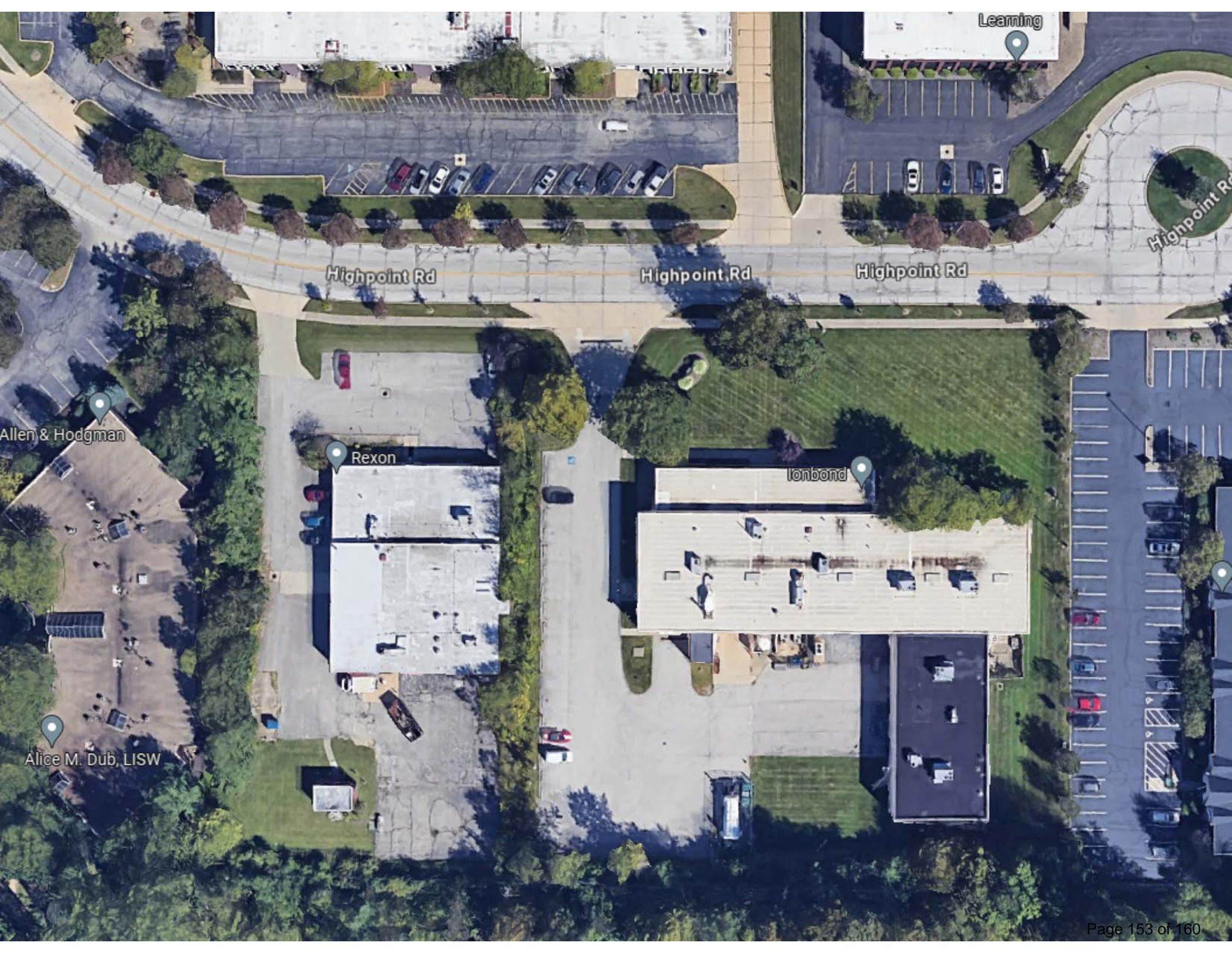
Tax Balance Summary	<b>Charges</b>	<b>Payments</b>	<b>Balance Due</b>
	<b>\$25,854.82</b>	<b>\$25,011.97</b>	<b>\$842.85</b>

**2023 (pay in 2024) Charge and Payment Detail**

Taxset	Charge Type	Charges	Payments	Balance Due
<b>Beachwood</b>				
	1st half tax	\$12,677.28	\$12,677.28	\$0.00
	1ST HALF BALANCE	\$12,677.28	\$12,677.28	\$0.00
	2nd half tax	\$12,677.28	\$12,084.55	\$592.73
	2ND HALF BALANCE	\$12,677.28	\$12,084.55	\$592.73
<b>C100030C-SEWER MAINTENANCE</b>				
	1st half tax - 2023	\$125.07	\$125.07	\$0.00
	1ST HALF BALANCE	\$125.07	\$125.07	\$0.00
	2nd half tax - 2023	\$125.06	\$0.00	\$125.06
	2ND HALF BALANCE	\$125.06	\$0.00	\$125.06
<b>C100030S-Sewer Maintenance</b>				
	1st half tax - 2023	\$125.07	\$125.07	\$0.00
	1ST HALF BALANCE	\$125.07	\$125.07	\$0.00
	2nd half tax - 2023	\$125.06	\$0.00	\$125.06
	2ND HALF BALANCE	\$125.06	\$0.00	\$125.06

2023 Taxes	<b>Charges</b>	<b>Payments</b>	<b>Balance Due</b>
Tax Balance Summary	<b>\$25,854.82</b>	<b>\$25,011.97</b>	<b>\$842.85</b>

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Learning

Highpoint Rd

Highpoint Rd

Highpoint Rd

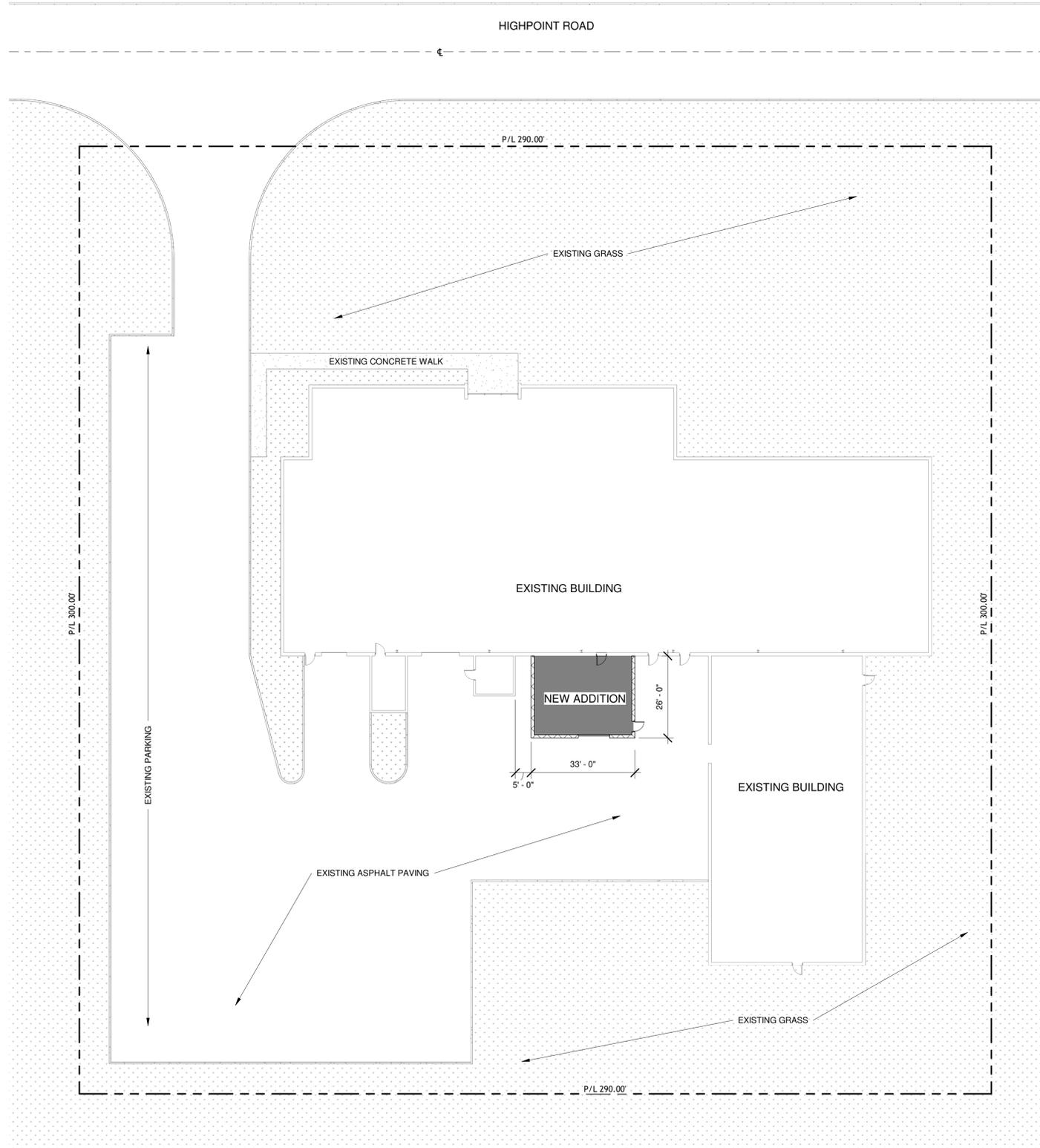
Highpoint Rd

Allen & Hodgman

Rexion

Ionbond

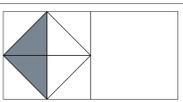
Alice M. Dub, LISW




**SITE PLAN**  
 1  
 SP-1  
 1" = 20'-0"

APPLICANT: IONBOND

P&Z: ZONING STANDARDS	ZONING DATA		DATE:
	REQUIRED	PROPOSED	VARIANCE
ZONING DISTRICT	U-8 INDUSTRIAL & OFFICE MIXED USE	U-8 INDUSTRIAL & OFFICE MIXED USE	
MINIMUM LOT AREA	1 ACRE	86,555 S.F., 1.994 ACRE	
MINIMUM LOT FRONTAGE	150'	290' (EXISTING)	
MINIMUM FRONT YARD BUILDING SETBACK	75'	75' (EXISTING)	
MINIMUM SIDE YARD BUILDING SETBACK	50' TOTAL / 10' MIN.	64' + 19'-83' TOTAL (EXISTING)	
MINIMUM REAR YARD BUILDING SETBACK	40'	40'-8" (EXISTING)	
MAXIMUM BUILDING HEIGHT	42'	20' (EXISTING BUILDING) 17'-8" (NEW ADDITION)	
MINIMUM LANDSCAPED AREA	5%	EXISTING	
MINIMUM PARKING SETBACKS	Front = 11' Side = 3' Rear = 3'	Front = 59'-6" (EXISTING) Side = 10' (EXISTING) Rear = 10' (EXISTING)	
MINIMUM DRIVE AISLE	20'	24' (EXISTING)	
MINIMUM PARKING STALL	9' x 20', 180 S.F.	10' x 20', 200 S.F. (EXISTING)	
MINIMUM OFF-STREET PARKING	1/400 S.F.	20 (EXISTING)	
SITE DEVELOPMENT PLANS			

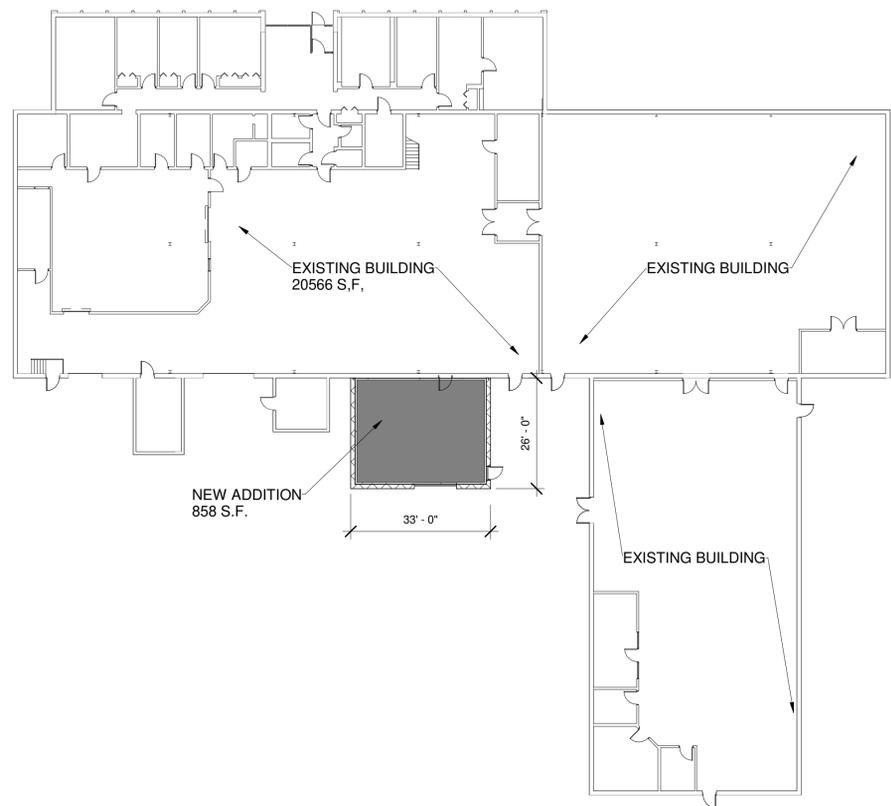


**NORTH  
COAST  
ARCHITECTS, INC.**

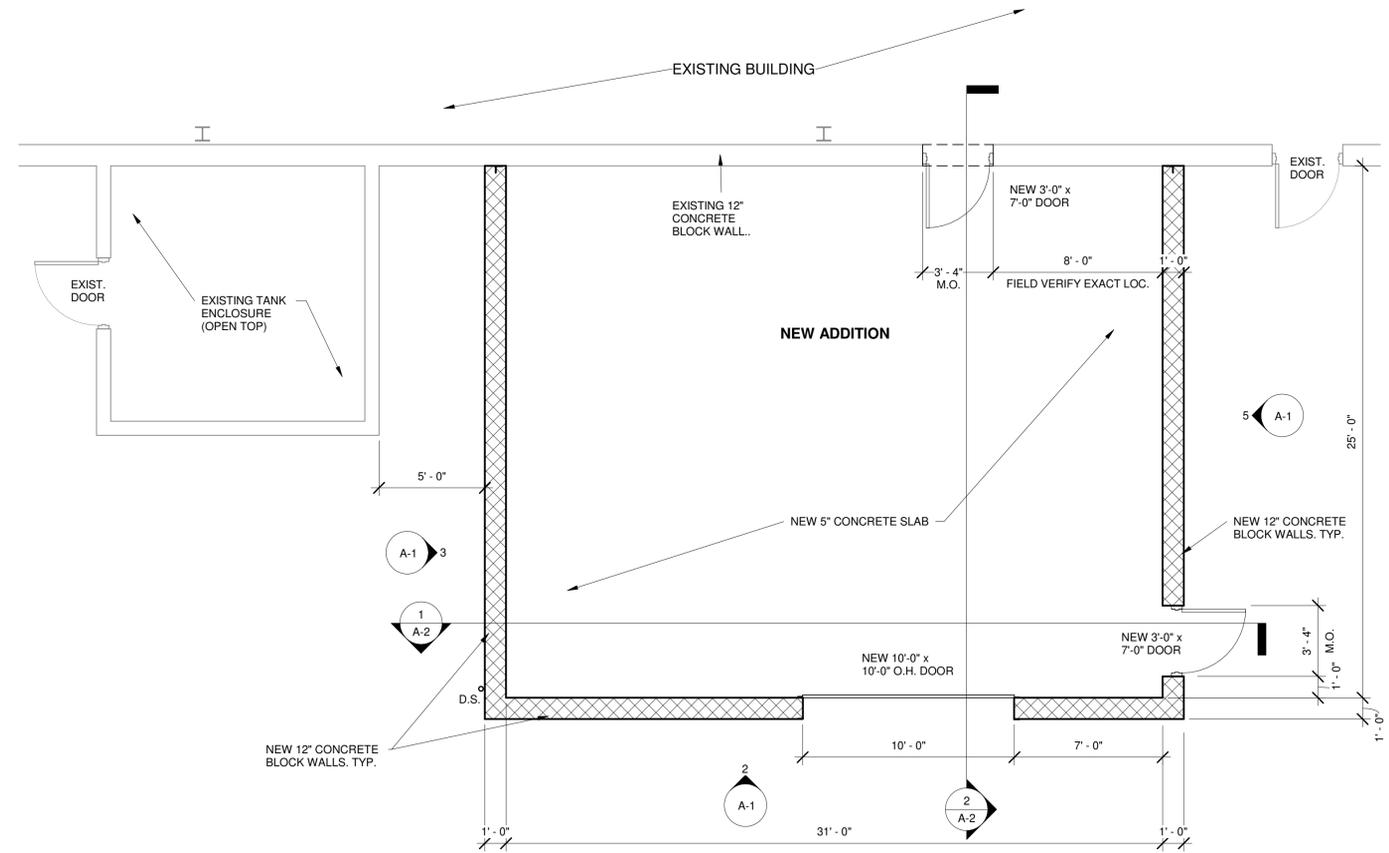
23215 COMMERCE PARK ROAD  
 SUITE 316  
 BEACHWOOD, OHIO 44122  
 PHONE: 216-464-7494

PROPOSED ADDITION FOR:  
**IONBOND**  
 24700 HIGHPOINT ROAD  
 BEACHWOOD, OHIO 44122  
**SITE PLAN**  
 2404

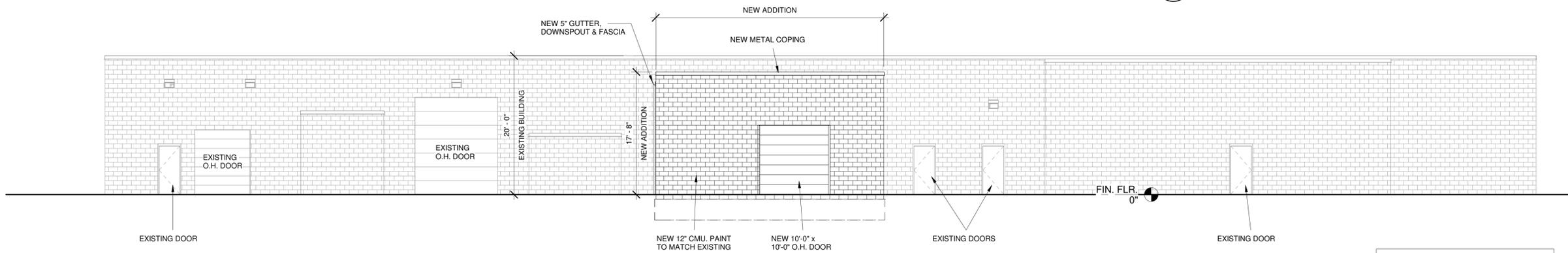
DATE: 05/03/2024  
 ISSUE: PC MEETING  
**SP-1**



4 **OVERALL BUILDING PLAN**  
A-1 1" = 20'-0"

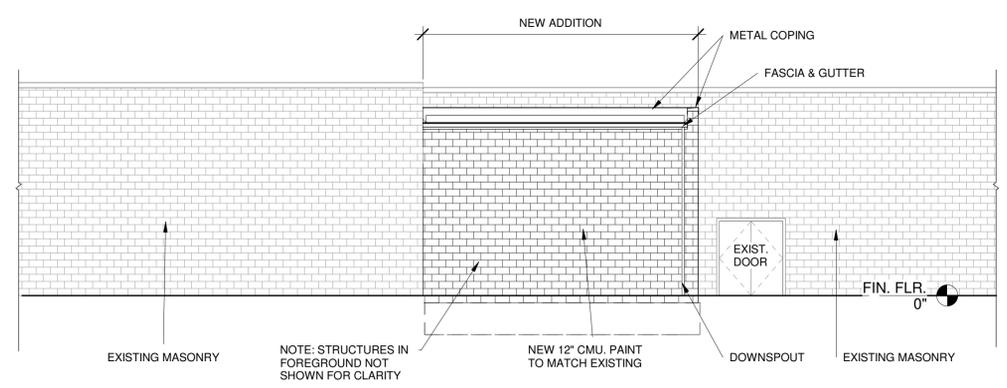


1 **FLOOR PLAN**  
A-1 1/4" = 1'-0"

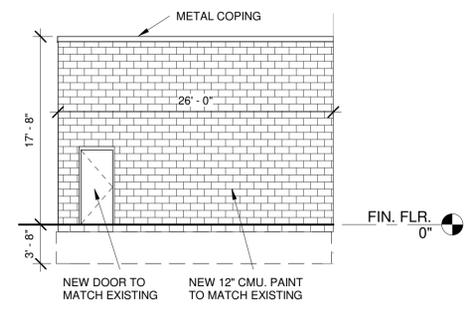


2 **SOUTH ELEVATION**  
A-1 1/8" = 1'-0"

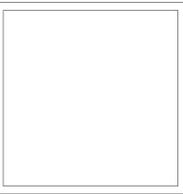
NOTE:  
ALL NEW MATERIALS &  
COLORS TO MATCH EXISTING.



3 **WEST ELEVATION**  
A-1 1/8" = 1'-0"

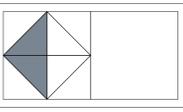


5 **EAST ELEVATION**  
A-1 1/8" = 1'-0"



23215 COMMERCE PARK ROAD  
SUITE 316  
BEACHWOOD, OHIO 44122

**NORTH COAST ARCHITECTS, INC.**



PROPOSED ADDITION FOR:  
**IONBOND**  
24700 HIGHPOINT ROAD  
BEACHWOOD, OHIO 44122

**FLOOR PLAN & ELEVATIONS**

2404

DATE: 05/03/2024  
ISSUE: PC MEETING

A-1

P.O. Box 3163  
Cuyahoga Falls, Ohio 44223  
Ph: 440-725-1886  
geosmerigan@gmail.com

TO: Beachwood Planning Commission

FROM: George Smerigan, City Planner



DATE: May 8, 2024

RE: **P&Z 2024-16 North Coast Architects, Inc.  
24700 Highpoint, LLC  
24700 Highpoint Road  
Site Development Plan Approval**

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This request is for site development plan approval for an 858 square feet one-story addition to the existing building. The subject site is in the U-8 Industrial and Office Mixed-Use District. The applicant proposes to construct the addition on the rear of the existing building between an existing overhead door and a man door. Because the addition is in the interior of the L-shaped building, there is no impact on building setbacks. The 858 square feet addition will bring the total building area to 18,800 square feet and the building ground coverage to approximately 22%, which is well within the Code permitted 40%. The area of the proposed addition is already paved so there should be minimal impact with regard to storm runoff. The site plan provides for 20 existing parking spaces.

Based on a total building area of 18,800 square feet, the applicant is required to provide 47 parking spaces. In August of 2001, a variance was granted for the property permitting the land banking of 23 parking spaces, which would bring the provided parking to 43 spaces. Given the history of the site, it appears unlikely that the property will ever need the additional four (4) spaces.

It is recommended that the Commission recommend to City Council final site development plan approval subject to the following stipulations:

1. Pursuant to Section 1159.04 it is determined that a practical difficulty will result on the subject site from the literal enforcement of Code Section 1144.07(a) with regard to the number of required parking spaces.
2. Granting a variance of four (4) spaces to Section 1144.07(a) to permit the total number of required parking spaces to be 43 in lieu of the required 47 spaces.
3. Compliance with the comments of the City Engineer.



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**MEMORANDUM**  
**CITY OF BEACHWOOD**  
**PLANNING AND ZONING COMMISSION MEETING**

**Meeting Date: May 30, 2024**

**Report Date: May 21, 2024**

2024120.01

To: Mr. Brian Roenigk  
Building Commissioner

From: Joseph R. Ciuni, P.E. P.S.  
City Engineer

**AGENDA ITEM NO. 10**

**P & Z 2024-16**      **Marc Cohen, North Coast Architects, is requesting preliminary and final site plan approval for a one story addition to the existing building at 24700 Highpoint Road, IHI IonBond Inc.**

We hereby recommend approval of this item.

Fire Prevention Bureau

## P&Z Report

To: Planning and Zoning Commission  
From: Matthew Domonkos, Assistant Chief  
Date: 05/20/2024  
Re: P&Z # 2024-16 24700 Highpoint- Ion Bond

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The Fire Prevention Bureau has reviewed the drawings/documents submitted for this item.

1. All current life safety systems in structure must continue in addition.

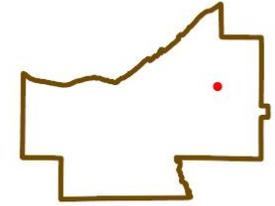
*Matthew Domonkos*

Matthew Domonkos  
Assistant Fire Chief





# Cuyahoga County GIS Viewer



Date Created: 5/16/2024

### Legend

- Municipalities
- Right Of Way
- Platted Centerline
- Parcel

112 0 56 112 Feet

Projection:  
WGS\_1984\_Web\_Mercator\_Auxiliary\_Sphere

This map is a user generated static output from an Internet mapping site and is for reference only. Data layers that appear on this map may or may not be accurate, current, or otherwise reliable.

THIS MAP IS NOT TO BE USED FOR NAVIGATION

## Fire Prevention Bureau

## P&Z Report

To: Planning and Zoning Commission  
From: Matthew Domonkos, Assistant Chief  
Date: 05/20/2024  
Re: P&Z # 2024-18 24230 Lot consolidation

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The Fire Prevention Bureau has reviewed the drawings/documents submitted for this item.

1. The Fire Department has not questions or comments at this time.

*Matthew Domonkos*

Matthew Domonkos  
Assistant Fire Chief